



Florida Department of Environmental Protection

160 W. Government Street, Suite 308
Pensacola, Florida 32502-5740

Rick Scott
Governor

Carlos Lopez-Cantera
Lt. Governor

Ryan E. Matthews
Interim Secretary

Permittee/Authorized Entity:

The Trust for Public Land
c/o Peter Fodor, Division Legal Director
306 North Monroe Street
Tallahassee, Florida 32301, Leon County
Pete.Fodor@tpl.org

The Trust for Public Land – Innerarity Point Park

Authorized Agent:

Meghan Mick
1211 Miccosukee Road
Tallahassee, Florida 32308
mmick@woodandpartners.com

Environmental Resource Permit

**State-owned Submerged Lands Authorization – Granted Pending Document
Execution**

**U.S. Army Corps of Engineers Authorization – Separate Corps Authorization
Required**

Escambia County
Permit No.: 0346099-002-EI/17
Lease File No.: 170340121

Permit Issuance Date: June 5, 2017
Permit Construction Phase Expiration Date: June 5, 2022

Consolidated Environmental Resource Permit and Sovereignty Submerged Lands Authorization

Permittee / Grantee: The Trust for Public Land
Permit No: 0346099-002-EI/17

PROJECT LOCATION

The activities authorized by this permit and sovereignty submerged lands authorization are located at Cruzat Way, Pensacola, Florida 32507, Parcel IDs [143S325000010001](#) and [143S325000260001](#), in Section 14, Township 03 South, Range 32 West in Escambia County, at 30.303779 Degrees North Latitude, 87.442974 Degrees West Longitude.

PROJECT DESCRIPTION

The permittee is authorized to construct an upland park with stormwater management facility, boardwalk and a recreational dock for launch & recovery of non-motorized recreational vessels and other passive recreational activities. The project is located in Perdido Bay, a Class III Florida Waterbody, Unclassified Shellfish Harvesting Area. Those activities include the preemption of 18,058 square feet of state-owned sovereignty submerged lands. Authorized activities are depicted on the attached exhibits.

The project includes on-site stormwater treatment for the 2.64 acre project area.

AUTHORIZATIONS

The Trust for Public Land – Innerarity Point Park

Environmental Resource Permit

The Department has determined that the activity qualifies for an Environmental Resource Permit. Therefore, the Environmental Resource Permit is hereby granted, pursuant to Part IV of Chapter 373, Florida Statutes (F.S.), and Chapter 62-330, Florida Administrative Code (F.A.C.).

Sovereignty Submerged Lands Authorization

The activity is located on sovereignty submerged lands owned by the State of Florida. It therefore also requires authorization from the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees), pursuant to Article X, Section 11 of the Florida Constitution, and Section 253.77, F.S. As staff to the Board of Trustees under Sections 253.002, F.S., the Department has determined that the activity qualifies for and requires a lease, as long as the work performed is located within the boundaries as described and is consistent with the terms and conditions herein.

The final documents required to execute the lease will be sent to the permittee/lessee by the Department's Division of State Lands for execution. The Department intends to issue the lease, upon satisfactory execution of those documents, including payment of required fees and compliance with the conditions in the attached permit. **You may not begin construction of the activities described until you receive a copy of the executed lease from the Department.**

Federal Authorization

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE**

permit or authorization **Shall be required** from the Corps. A copy of your permit application has been forwarded to the Corps for their review. The Corps will issue their authorization directly to you or contact you if additional information is needed. If you have not heard from the Corps within 30 days from the date your application was received at the local FDEP Office, contact the Corps for status and further information. **Failure to obtain Corps authorization prior to construction could subject you to federal enforcement action by that agency.**

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U.S. Army Corps of Engineers(Jacksonville District) and the Florida Department of Environmental Protection, or Duly Authorized Designee, State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Coastal Zone Management

Issuance of this authorization also constitutes a finding of consistency with Florida's Coastal Zone Management Program, as required by Section 307 of the Coastal Zone Management Act.

Water Quality Certification

This permit also constitutes a water quality certification under Section 401 of the Clean Water Act, 33 U.S.C. 1341.

Other Authorizations

You are advised that authorizations or permits for this activity may be required by other federal, state, regional, or local entities including but not limited to local governments or municipalities. This permit does not relieve you from the requirements to obtain all other required permits or authorizations.

The activity described may be conducted only in accordance with the terms, conditions and attachments contained in this document. Issuance and granting of the permit and authorizations herein do not infer, nor guarantee, nor imply that future permits, authorizations, or modifications will be granted by the Department.

PERMIT CONDITIONS

The activities described must be conducted in accordance with:

- **The Specific Conditions**
- **The General Conditions**
- **The limits, conditions and locations of work shown in the attached drawings**
- **The term limits of this authorization**

You are advised to read and understand these conditions and drawings prior to beginning the authorized activities, and to ensure the work is conducted in conformance with all the terms, conditions, and drawings herein. If you are using a contractor, the contractor also should read and understand these conditions and drawings prior to beginning any activity. Failure to comply with these conditions, including any mitigation requirements, shall be grounds for the Department to revoke the permit and authorization and to take appropriate enforcement action. Operation of the facility is not authorized except when determined to be in conformance with all applicable rules and this permit and sovereignty submerged lands authorization, as described.

SPECIFIC CONDITIONS – PRIOR TO ANY CONSTRUCTION

1. If the approved permit drawings and/or narrative conflict with the specific conditions, then the specific conditions shall prevail.
2. Prior to the initiation of any work authorized by this permit, floating turbidity screens with weighted skirts that extend to within 1 ft. of the bottom shall be placed around the active construction areas of the site. The screens shall be maintained and shall remain in place for the duration of the project construction to ensure that turbidity levels outside the construction area do not exceed 29 NTU's above background levels. The permittee shall be responsible for ensuring that turbidity control devices are inspected daily and maintained in good working order so that there are no violations of state water quality standards outside of the turbidity screens.
3. The following measures shall be taken by the permittee whenever turbidity levels within waters of the State surrounding the project site exceed 29 NTU's above background:
 - a. Immediately cease all work contributing to the water quality violation.
 - b. Modify the work procedures that were responsible for the violation, and install more turbidity containment devices and repair any non-functioning turbidity containment devices.
 - c. Notify the Department of Environmental Protection, Submerged Lands & Environmental Resources Program, Compliance and Enforcement Section, Northwest District Office, 160 W Government Street, Pensacola, Florida 32502-5794, in writing or by telephone at (850)595-8300 within 24 hours of the time the violation is first detected.

SPECIFIC CONDITIONS – CONSTRUCTION ACTIVITIES

4. Best management practices for erosion control shall be implemented and maintained at all times during construction to prevent siltation and turbid discharges in excess of State water quality standards pursuant to Rule 62-302, F.A.C. Methods shall include, but are not limited to the use of staked hay bales, staked filter cloth, sodding, seeding, and mulching; staged construction; and the installation of turbidity screens around the immediate project site.
5. Any damage to wetlands or seagrasses outside of the authorized impact area as a result of construction shall be immediately reported to the Department at (850)595-8300, and repaired by reestablishing the pre-construction elevations and replanting vegetation of the same species, size, and density as that in the adjacent areas. The restoration shall be completed within 30 days of completion of construction, and the Department shall be notified of its completion within that same 30 day period.
6. There shall be no stock piling of tools, materials, (i.e., lumber, pilings, riprap, and debris) within wetlands, along the shoreline within the littoral zone, or elsewhere within waters/waters of the state.
7. All cleared vegetation, excess lumber, scrap wood, trash, garbage and any other type of debris shall be removed from wetlands/waters of the state within 14 days of completion of the work authorized in this permit.
8. To protect wetland resources when present, the elevation of the decking shall be a minimum of four feet above wetland grade. If planks are used, there shall be a minimum of 1/2-inch spacing between deck planks after shrinkage of the planks.

9. To protect benthic resources when present, the elevation of the decking shall be a minimum of five feet above the mean high water line.

10. The portion of the access pier that traverses seagrasses shall be constructed of grated decking.

11. Construction equipment shall not be repaired or refueled in wetlands or elsewhere within waters of the state.

12. All watercraft associated with the construction of the permitted structure shall only operate within waters of sufficient depth so as to preclude bottom scouring and prop dredging.

13. This permit does not authorize the construction of any additional structures not illustrated on the permit drawings. Examples of additional structures include but are not limited to walkways, awnings, enclosed sides and covers over slip areas, finger piers, step-down stairs, storage closets and decking.

SPECIFIC CONDITIONS – OPERATION AND MAINTENANCE ACTIVITIES

14. Daytime mooring of non-motorized vessels shall be allowed at the facility. Overnight or permanent mooring is strictly prohibited.

15. Overboard discharges of trash, human or animal waste, or fuel shall not occur at the dock.

16. Grassed areas of the retention system shall be fertilized only as needed to maintain vegetation, and shall be mowed regularly in order to be kept at a manageable length as required for system functionality, maintenance, and safety.

17. Percolation performance shall be evaluated within the pond at least every third year. If there is evidence of inadequate percolation, the pond bottom must be re-scarified or deep-raked to restore percolation characteristics. If reworking the pond bottom fails to restore adequate percolation, additional retention area restoration shall be performed as follows:

- a. Remove the top layer of the retention area bottom material to a depth of 2 to 3 inches and scarify or deep-rake the excavated bottom.
- b. Replace excavated bottom material with suitably permeable material and restore the pond bottom to design grade.

18. Inspections by the Permittee:

- The stormwater system shall be inspected periodically for accumulation of debris and trash. Accumulations of debris and trash that negatively affect the function of the system shall be removed upon discovery.
- The stormwater system shall be inspected periodically for silt accumulation. Accumulations of silt that negatively affect the function of the system shall be removed.
- The overflow weir and skimmer, if applicable, shall be inspected annually to confirm that it is free-flowing and clear of debris.

19. Inspections by a Registered Professional. The stormwater management system shall be inspected by a registered professional to evaluate whether the system is functioning as designed

and permitted. Percolation performance should specifically be addressed. The Registered Professional may record his inspection on Form No 62-330.311(1), Operation and Maintenance Inspection Certification or may provide his evaluation in any other format; however any report must be signed and sealed by the Registered Professional. Submittal of the inspection report to the District is not required; but the report shall be made available to the District upon request. Inspections shall be made by the Registered Professional in accordance with this schedule:

- On the first anniversary of the date of conversion to Operation and Maintenance Phase.
- Every fifth year on the anniversary of conversion to Operation and Maintenance phase, after the first year of successful operation.

20. Reporting by a Registered Professional. Within 30 days of any failure of a stormwater management system or deviation from the permit, a report shall be submitted to the District on Form 62-330.311(1), Operation and Maintenance Inspection Certification, describing the remedial actions taken to resolve the failure or deviation. This report shall be signed and sealed by a Registered Professional.

SPECIFIC CONDITIONS – ADMINISTRATIVE/EMERGENCIES

21. The construction phase expires at 11:59 p.m. on the date indicated on the cover page of this permit.

22. For emergencies involving a serious threat to the public health, safety, welfare, or environment, the emergency telephone contact number is (800) 320-0519 (State Warning Point). The Department telephone number for reporting nonthreatening problems or system malfunctions is (850) 595-0663, day or night.

GENERAL CONDITIONS FOR INDIVIDUAL PERMITS

The following general conditions are binding on all individual permits issued under chapter 62-330, F.A.C., except where the conditions are not applicable to the authorized activity, or where the conditions must be modified to accommodate project-specific conditions.

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.

2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the Agency staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.

3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the *State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007)*, and the *Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source*

Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5., F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.

4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the Agency a fully executed Form 62-330.350(1), "Construction Commencement Notice," [October 1, 2013], which is incorporated by reference in paragraph 62-330.350(1)(d), F.A.C., indicating the expected start and completion dates. A copy of this form may be obtained from the Agency, as described in subsection 62-330.010(5), F.A.C. If available, an Agency website that fulfills this notification requirement may be used in lieu of the form.

5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.

6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:

- a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex – "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
- b. For all other activities – "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
- c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.

7. If the final operation and maintenance entity is a third party:

- a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as- built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
- b. Within 30 days of submittal of the as- built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.

8. The permittee shall notify the Agency in writing of changes required by any other regulatory agency that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.

9. This permit does not:

- a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
- b. Convey to the permittee or create in the permittee any interest in real property;

- c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
- d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.

10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.

11. The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.

12. The permittee shall notify the Agency in writing:

- a. Immediately if any previously submitted information is discovered to be inaccurate; and
- b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.

13. Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.

14. If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.

15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.

16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.

17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the Agency will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.

18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with subsection 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rule 28-106.201, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, any email address, any facsimile number, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. Under Section 120.60(3), F.S., however, any person who has asked the Department for notice of agency action may file a petition within 21 days of receipt of such notice, regardless of the date of publication. The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, before the applicable deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Rules 9.110 and 9.190, Florida Rules of Appellate Procedure, with the Clerk of the Department in the Office of General Counsel, 3900 Commonwealth Boulevard, M.S. 35, Tallahassee, Florida 32399-3000; and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate District Court of Appeal. The Notice of Appeal must be filed within 30 days from the date this action is filed with the Clerk of the Department.

Thank you for applying to the Submerged Lands and Environmental Resource Permit Program. If you have any questions regarding this matter, please contact Wade Dandridge at the letterhead address, at 850-595-0655, or at Wade.Dandridge@dep.state.fl.us

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL PROTECTION



For Emile D. Hamilton
Director

EDH:wd

Attachments:

Project Drawings and Design Specs., 20 pages
Stormwater Drawings and Design Specs., 12 pages
Operation and Maintenance Plan, 4 pages

Copies furnished to:

Clif Payne, U.S. Army Corps of Engineers, lyal.c.payne@usace.army.mil
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CERTIFICATE OF SERVICE

The undersigned hereby certifies that this permit and authorization to use sovereignty submerged lands, including all copies, were mailed before the close of business on June 5, 2017, to the above listed persons.

FILING AND ACKNOWLEDGMENT

FILED, on this date, under 120.52(7) of the Florida Statutes, with the designated Department Clerk, receipt of which is hereby acknowledged.



June 5, 2017

Clerk

Date



INNERARITY POINT PARK

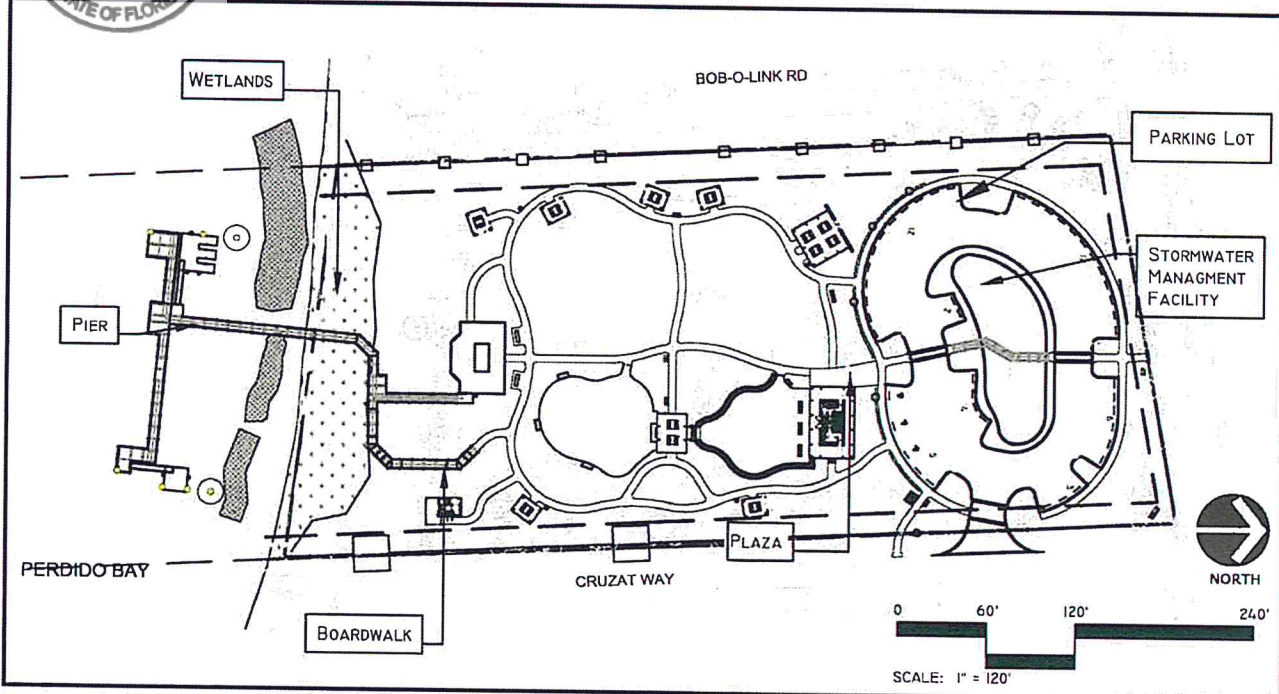
ESCAMBIA COUNTY, FLORIDA

01/17/2017

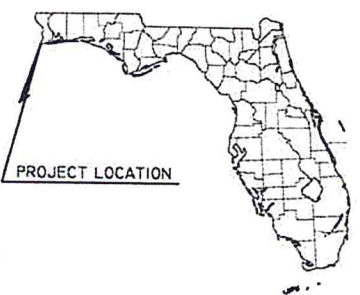


- CVR COVER
- EXH1-EXH4 GENERAL NOTES
- EXH3-EXH4 GENERAL NOTES
- EXH5 EXISTING CONDITIONS
- EXH6 OVERALL SITE PLAN
- EXH7 BOARDWALK & PIER PLAN
- EXH8 PEIR DECKING DETAILS
- EXH8.1 FLOATING DOCK PLANS
- EXH8.2 FLOATING DOCK PLANS
- EXH8.3 FLOATING DOCK SECTIONS
- EXH9 STRUCTURAL DETAILS
- EXH10-EXH16 SWPPP DETAILS

PREPARED FOR:
The Trust For Public Land
306 North Monroe Street
Tallahassee, FL 32303



PARCEL TAX IDENTIFICATION NUMBERS:
INNERARITY POINT PARK:
14-3S-32-5000-010-001
LOCATION MAP:



PREPARED BY:

Wood+Partners Inc. WPI
Landscape Architects
Land Planners
PL 13000364

CONTACT: SHAWN KALBLI, PRINCIPAL
CONTACT: MARK L. BAKER, RLA
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HUMBER GARICK

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SUSTAINING LANDSCAPES CONSERVING WATER

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dag

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D 850 692 6975 | O 850.656 7506 | C 850.259.2211

REFERENCES

1. THE SURVEY, INCLUDING TOPOGRAPHY, USED FOR THE DESIGN WAS PROVIDED NOBLES CONSULTING GROUP AND PREPARED BY ALFREDO BURMUDEZ (AS-BUILT SURVEY) DATED JULY 2016. THE SURVEY HAS NOT BEEN FIELD VERIFIED BY WOOD+PARTNERS, INC. AND WOOD+PARTNERS, INC. PROVIDES NO WARRANTY AS TO THE ACCURACY OF THE SURVEY. HORIZONTAL DATA, VERTICAL DATA (NAVD 88), AND UTILITIES BASED ON SURVEY PROVIDED BY PREPARED BY NOBLES CONSULTING GROUP (AS-BUILT SURVEY) DATED JULY 2016

2. MANDATORY PERMITTING CONFERENCE, COORDINATE WITH SHAWN KALBLI AS LA WOOD PARTNERS, INC. FILE# 18-0366

3. THE OWNER SHALL BE GIVEN TWENTY-FOUR HOURS (24-HR) NOTICE OF ALL MEETINGS AND OR TESTING MEASURES RELATED TO THIS PROJECT.

CONTACT AND PROJECT INFORMATION

OWNER: TRUST FOR PUBLIC LAND
306 NORTH MONROE ST
TALLAHASSEE, FL

LANDSCAPE ARCHITECT: WOOD + PARTNERS, INC.
SHAWN KALBLI, PRINCIPAL
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SURVEYOR: NOBLES CONSULTING GROUP
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ENVIRONMENTAL: FLORIDA ENVIRONMENTAL & LAND SVCS., INC.
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CONTACT AND PROJECT INFORMATION (CONTINUED)

IRRIGATION CONSULTANT: CLARK IRRIGATION DESIGN & CONSULTING, INC.
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ARCHITECT: DAG ARCHITECTS
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TMILLER@DAGARCHITECTS.COM
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850.656.7506

STRUCTURAL: DAVID H. MELVIN, INC CONSULTING ENGINEERS
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850-671-722

STRUCTURAL: KIMLEY-HORN AND ASSOCIATES
ANGELINA GOU-FAIRCHILD
1920 WEKIVA WAY, STE. 200
WEST PALM BEACH, FL 33411
850.553.3500

CONSTRUCTION DOCUMENTS

1. THIS CONSTRUCTION DOCUMENTS SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REPRESENTATIVE AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.

2. THE SITE PLANS AND SPECIFICATIONS ARE INTENDED TO PORTRAY THE SITE AS A COMPLETED, FUNCTIONAL PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS USED TO ACHIEVE THE COMPLETED SITE CONDITION AS SET OUT IN THE PLANS. IT IS NOT THE INTENTION OF THESE PLANS TO PROVIDE SPECIFIC GUIDANCE OF EVERY ASPECT OF THE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF THE PLANS IN COMPLIANCE WITH GENERALLY ACCEPTED PRACTICES AND UNDER CURRENT STANDARDS. CONTRACTOR SHALL APPLY APPROPRIATE CONSTRUCTION DETAILS AND PROCESSES WHETHER OR NOT THESE INDIVIDUAL ASPECTS OF THE WORK ARE SPECIFICALLY CALLED OUT ON THE PLANS.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, LOCAL, STATE, AND FEDERAL REQUIREMENTS UNLESS SPECIFIED OTHERWISE. CONTRACTOR SHALL OBTAIN THESE DOCUMENTS, BECOME FAMILIAR WITH THEM AND HAVE THEM ON THE JOB SITE AT ALL TIMES.

2. THE CONTRACTOR SHALL MAKE ALL NECESSARY SITE VISITS AND INSPECTIONS TO BECOME FAMILIAR WITH THE PROJECT AND MAKE ANY INVESTIGATIONS WHICH ARE APPROPRIATE TO CONFIRM THE SOILS/GEOTECHNICAL INFORMATION, TOPOGRAPHIC INFORMATION, WETLANDS, UTILITIES, ETC. TO BE ABLE TO PREPARE THE BID FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH THE DRAWINGS AND INFORMATION PROVIDED FOR BIDDING AND CONSTRUCTION. ANY DEVIATIONS AND/OR DISCREPANCIES IN THE CONTRACTOR'S FINDING'S VERSUS THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED IN WRITING TO OWNER PRIOR TO THE BID AND PRIOR TO COMMENCEMENT OF CONSTRUCTION ON THE AREAS IN QUESTION.

3. GENERAL CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE START OF THE PROJECT. ALL REQUIRED PERMITS SHALL BE MAINTAINED ON SITE AT ALL TIMES.

GENERAL NOTES (CONTINUED)

4. ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF FEDERAL, STATE, LOCAL MUNICIPALITY AND/OR THE APPROPRIATE UTILITY COMPANY, WHICHEVER TAKES PRECEDENCE. ALL RIGHT-OF-WAY CONSTRUCTION SHALL MEET LOCAL AND STATE DEPARTMENT OF TRANSPORTATION STANDARD INDEX AND SPECIFICATIONS, LATEST EDITION.

5. CONTRACTOR TO COORDINATE WITH OWNER TO DETERMINE CONSTRUCTION STAGING AND STORAGE AREA PRIOR TO COMMENCEMENT OF MOBILIZATION ANY CONSTRUCTION TRAILERS USED ON-SITE BY THE CONTRACTOR (IF NECESSARY) SHALL BE PERMITTED THROUGH LOCAL GOVERNING AGENCY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS. CONTRACTOR MAY UTILIZE EXISTING STRUCTURE AT TEMPORARY CONSTRUCTION ENTRANCE AND WILL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND UTILITY CONNECTIONS.

6. A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.

7. WITHIN ALL NOTES, THE TERM CONTRACTOR SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR OR VENDOR PERFORMING CONSTRUCTION ON THE SITE.

LAYOUT NOTES

1. DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. HARDCOPY INFORMATION SHALL PREVAIL.

2. CONTRACTOR SHALL STAKE THE LAYOUT OF THE CONSTRUCTION DOCUMENTS FOR OWNER AND OWNERS REPRESENTATIVE TO APPROVE PRIOR TO CONSTRUCTION.

3. ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM THE OWNER PRIOR TO CONSTRUCTION.

FINAL ACCEPTANCE

1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING "AS-BUILT" DRAWINGS CERTIFIED BY A FLORIDA REGISTERED SURVEYOR.

2. "AS-BUILT" DRAWINGS SHALL BE PROVIDED TO THE OWNER AND OWNERS REPRESENTATIVE IN CAD AND HARDCOPY FORMATS.

3. FINAL INSPECTION SHALL NOT OCCUR UNTIL "AS-BUILT" DRAWINGS HAVE BEEN PROVIDED TO AND REVIEWED BY OWNER AND OWNERS REPRESENTATIVE.

4. THERE SHALL BE A MINIMUM TEN (10) DAYS NOTICE GIVEN FOR SCHEDULING THE SUBSTANTIAL COMPLETION INSPECTION.

5. THERE SHALL BE A MINIMUM TEN (10) DAYS NOTICE GIVEN FOR SCHEDULING THE FINAL INSPECTION.

PAVING AND DRAINAGE NOTES

1. ALL GRADING, PLACEMENT OF FILL AND COMPACTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. ALL FILL PLACED AS A PART OF THIS PROJECT SHALL BE PLACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. ALL FILL AREAS MUST BE COMPACTED AS STATED. A REPORT FROM AN APPROPRIATE LICENSED PROFESSIONAL MAYBE REQUIRED BY THE CONSTRUCTION INSPECTOR FOR ALL AREAS WITHIN THE RIGHT OF WAY.

2. COMPACTION DENSITIES FOR ALL SELECT FILL ARE TO BE TAKEN IN SIX INCH (6") LIFTS IN ACCORDANCE WITH DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

3. CONTRACTOR SHALL SECURE THE SERVICES OF AN APPROVED TESTING LABORATORY TO DEMONSTRATE SATISFACTION OF THE SPECIFICATIONS. CONTRACTOR SHALL SCHEDULE ALL TESTS AND PROVIDE TESTING REPORTS TO OWNER AND OWNERS REPRESENTATIVE.

PLAN IS SUBJECT TO CHANGE
SURVEY INFORMATION PROVIDED BY NOBLES CONSULTING GROUP FILE# 5835-001 - AUGUST 5, 2016.

PREPARED FOR:

The Trust for Public Land
306 North Monroe Street
Tallahassee, FL 32303



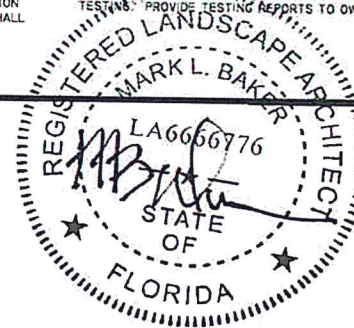
PERMIT DRAWINGS

INNERARITY POINT PARK
ESCAMBIA COUNTY, FLORIDA

#	REVISION	DATE	BY

Wood+Partners Inc. WPI
Landscape Architects
Land Planners
FL C000064

1211 Miccosukee Rd # Tallahassee, FL 32308
850.991.0360 # Fax 850.388.1010 # www.woodandpartners.com



DATE: 01.17.17
DRAWN BY: BB
CHECKED BY: SK

PROJECT NUMBER: 02-16009
SHEET NUMBER: EXH 1

SHEET TITLE: GENERAL NOTES

SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

PHASE 1: 4/20 0346099-002-EV17

1. CONSTRUCT AND STABILIZE CONSTRUCTION ENTRANCE (1) AND INSTALL SILT FENCE.
2. CONSTRUCT AND STABILIZE SEDIMENT BASIN AND DRAINAGE SWALES WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONTROL DEVICES LISTED ABOVE)
3. INSTALL INLET PROTECTION AT EXISTING INLET(S).
4. INSTALL AND STABILIZE ANY NECESSARY HYDRAULIC CONTROL STRUCTURES (DIKES, CHECK DAMS, OUTLET TRAPS, RISER PIPE DISCHARGE POINT, ETC.)
5. PREPARE CLEARING AND GRUBBING OF THE SITE, IF APPLICABLE.

PHASE 2:

6. PERFORM MASS GRADING. ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
7. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
8. TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY GENERIC PERMIT.

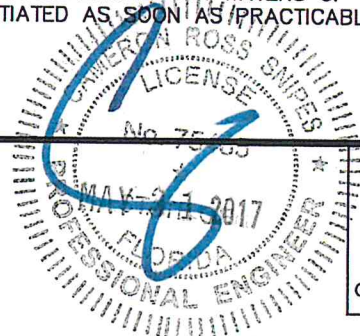
HALT ALL ACTIVITIES AND CONTACT THE CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMPS. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH CONSULTANT AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.

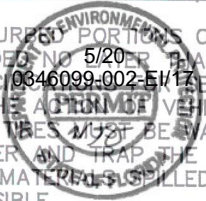
PLAN IS SUBJECT TO CHANGE.

<p>PREPARED FOR: The Trust for Public Land 306 North Monroe Street Tallahassee, FL 32303</p> 	<p>PERMIT DRAWINGS INNERARITY POINT PARK ESCAMBIA COUNTY, FLORIDA</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>REVISION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>Wood+Partners Inc. W+Pi Landscape Architects Land Planners FL LCC000364</p> <p style="font-size: small;">1211 Microsukhee Rd. Tallahassee, FL 32308 850.391.0360 ■ Fax 850.386.1010 ■ www.woodandpartners.com</p>	#	REVISION	DATE	BY					<p>DATE 01.11.17</p> <p>PROJECT NUMBER 02-16011</p> <p>SHEET TITLE GENERAL NOTES</p>	<p>DRAWN BY: XX</p> <p>CHECKED BY: XX</p> <p>SHEET NUMBER EXH3</p>
#	REVISION	DATE	BY									



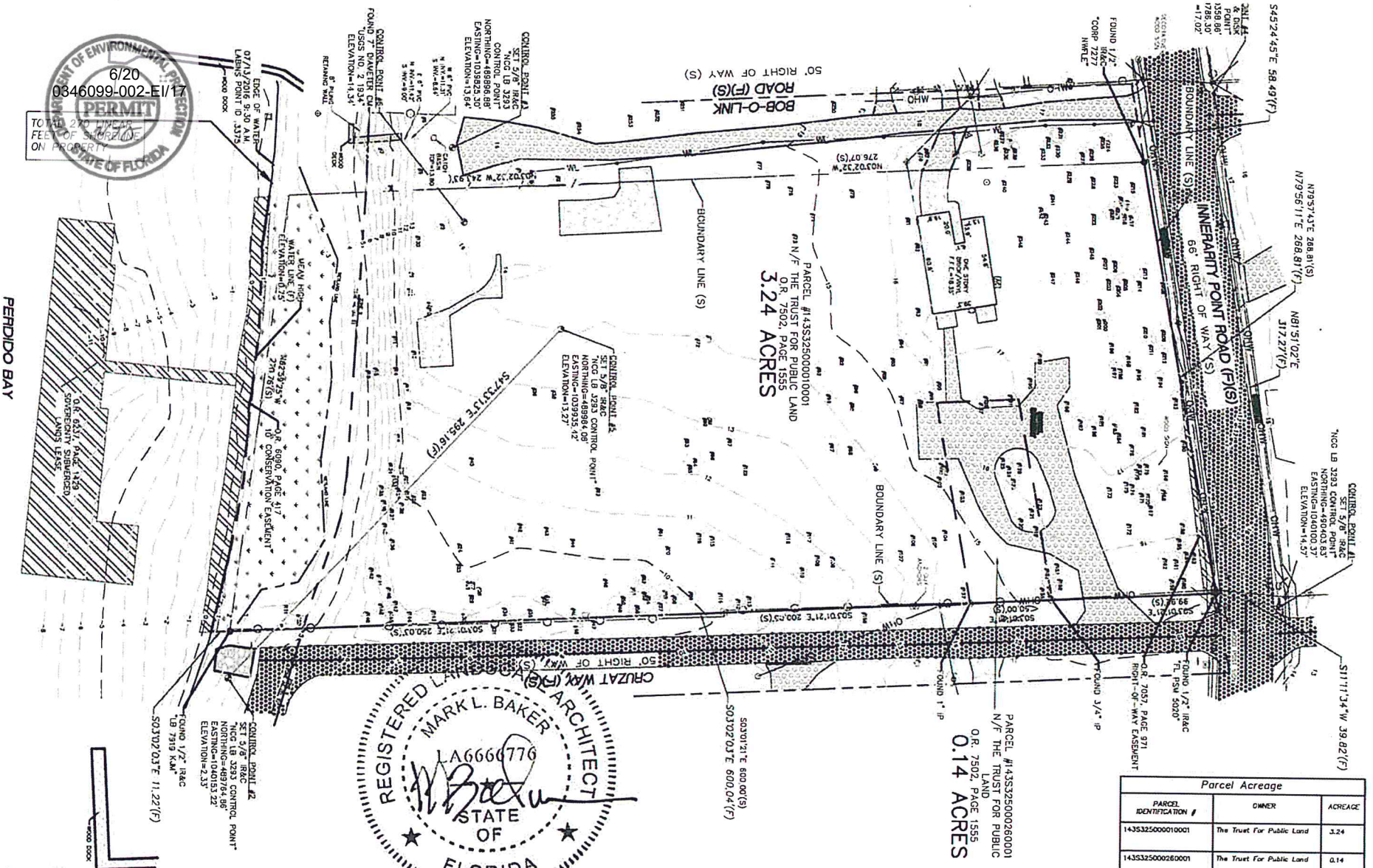
EROSION CONTROL NOTES (CONT.)

14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE REQUIREMENTS.
15. IF THE WHEELS OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE WHEELS MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
22. LOCATION OF SILT SCREEN FENCE IS SCHEMATIC AND NOT TO BE USED FOR STAKE OUT PURPOSES.
23. ANY CONSTRUCTION ADJACENT TO A WETLAND AREA SHALL BE PERFORMED FROM THE UPLAND SIDE OF THE AREA. CONSTRUCTION ENCROACHMENT INTO A WETLAND AREA IS NOT ALLOWED UNLESS PERMITTED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
24. ALL BMP LOCATIONS SHOWN ARE FOR GRAPHIC DEPICTION AND GENERAL LOCATION ONLY. ITEMS ARE TO BE INSTALLED PER DETAILS ON PLAN SET.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BMP DEVICES THROUGH THE DURATION OF ALL CONSTRUCTION OPERATIONS IN ACCORDANCE WITH THE N.P.D.E.S. PROGRAM.
26. PRIOR TO ANY EARTHMOVING OPERATIONS, THE CONTRACTOR SHALL INSTALL BMP DEVICES IN THE LOCATIONS SHOWN HEREON AND CONTACT RESOURCE PROTECTION SERVICES TO INSPECT ANY INSTALLATION OF THE REQUIRED SILT FENCING AROUND ANY PRESERVE AREAS.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF WIND AND DUST DURING ALL PHASES OF CONSTRUCTION BY USING WATER TRUCKS, WIND FENCING OR OTHER DEVICES AS APPROVED BY THE APPROPRIATE AGENCY.
28. THE CONTRACTOR SHALL BE RESPONSIBLE TO SAFELY STORE EQUIPMENT, FUEL, OIL AND OTHER HAZARDOUS DEVICES IN A MANNER TO PREVENT GREASE, OILS, FUEL AND OTHER HAZARDOUS SUBSTANCES FROM CONTAMINATING THE STORMWATER MANAGEMENT AND COLLECTION SYSTEMS AND PRESERVATION AREAS.
29. THE SILT FENCING AND OTHER BMP DEVICES SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE AND ACCEPTED BY THE OWNER.
30. BMP MEASURES SHOWN ARE A MINIMUM.
31. BEST MANAGEMENT PRACTICES SHOWN FOR OPEN THROAT AND GRATED SWALE INLETS SHALL BE INSTALLED AS APPROPRIATE FOR VARIOUS PROJECT PHASES.
32. SOD A 2' WIDE STRIP BEHIND ALL CURBING AND EDGE OF PAVEMENT WHERE CURB IS NOT PRESENT.
33. SOD AROUND ALL INLETS, JUNCTION BOXES, ETC. AND GRASS ALL SWALES.
34. ADDITIONAL BMP MEASURES MAY BE NECESSARY TO ENSURE THAT TURBID WATER IS NOT DISCHARGED FROM CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH STORMWATER POLLUTION PREVENTION PLAN, THE N.P.D.E.S. PERMIT AND THE CONDITIONS OF THE NWFWM ENVIRONMENTAL RESOURCE PERMIT.



PLAN IS SUBJECT TO CHANGE.

 <p>PREPARED FOR: The Trust for Public Land 306 North Monroe Street Tallahassee, FL 32303</p>	<p>PERMIT DRAWINGS INNERARITY POINT PARK ESCAMBIA COUNTY, FLORIDA</p>	<table border="1"> <thead> <tr> <th>#</th> <th>REVISION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	#	REVISION	DATE	BY						<p>DATE 01.11.17</p>	<p>DRAWN BY: XX CHECKED BY: XX SHEET NUMBER EXH4</p>
		#	REVISION	DATE	BY								
<p>Wood+Partners Inc. WPI Landscape Architects Land Planners FL LC000364</p> <p>1211 Miccooktree Rd. Tallahassee, FL 32308 850.391.0360 Fax 850.386.1010 www.woodandpartners.com</p>	<p>PROJECT NUMBER 02-16011</p> <p>SHEET TITLE GENERAL NOTES</p>												



Parcel Acreage		
PARCEL IDENTIFICATION #	OWNER	ACREAGE
1435325000010001	The Trust For Public Land	3.24
1435325000260001	The Trust For Public Land	0.14

PLAN IS SUBJECT TO CHANGE.
 SURVEY INFORMATION PROVIDED BY NOBLES CONSULTING GROUP FILE# 5835-001

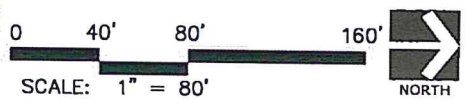
PREPARED FOR:
 The Trust for Public Land
 306 North Monroe Street
 Tallahassee, FL 32303

PERMIT DRAWINGS
INNERARITY POINT PARK
ESCAMBIA COUNTY, FLORIDA

REVISION _____ DATE BY _____

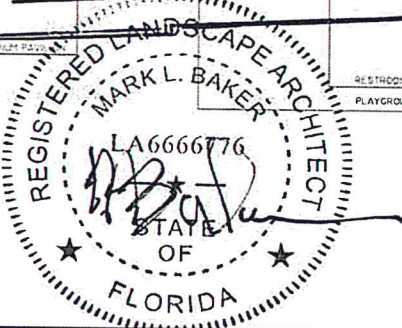
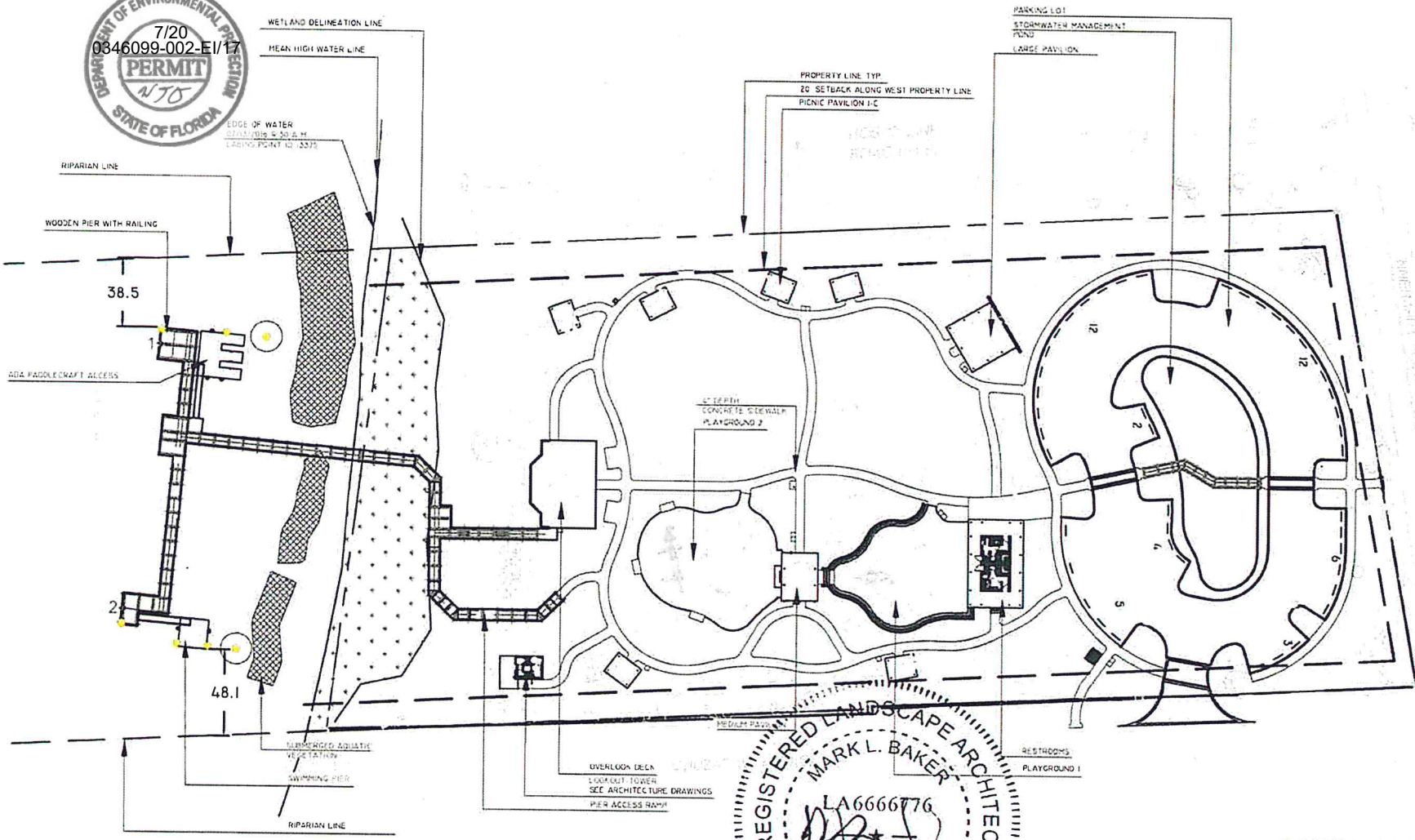
Wood+Partners Inc. WvPi
 Landscape Architects
 Land Planners
 FL LC2000304

1211 Miccosukee Rd # Tallahassee, FL 32308
 850 391 0308 Fax 850 386 1010 www.woodpartners.com



DATE: 01.17.17
 PROJECT NUMBER: 02-16009
 SHEET TITLE: EXISTING CONDITIONS

DRAWN BY: BB
 CHECKED BY: SK
 SHEET NUMBER: EXH5



SCAFFE PROHIBITING MOTORIZED BOATS AND IDENTIFYING USE

NORTHING/EASTING POINT SCHEDULE

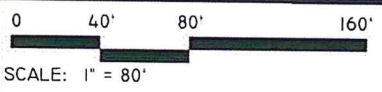
POINT DESCRIPTION	NORTHING	EASTING
1	N 489673.2096	E 1039910.2728
2	N 489654.0433	E 1040257.6321

PLAN IS SUBJECT TO CHANGE
 SURVEY INFORMATION PROVIDED BY NOBLES CONSULTING GROUP FILE# 5835-001 - AUGUST 5, 2016

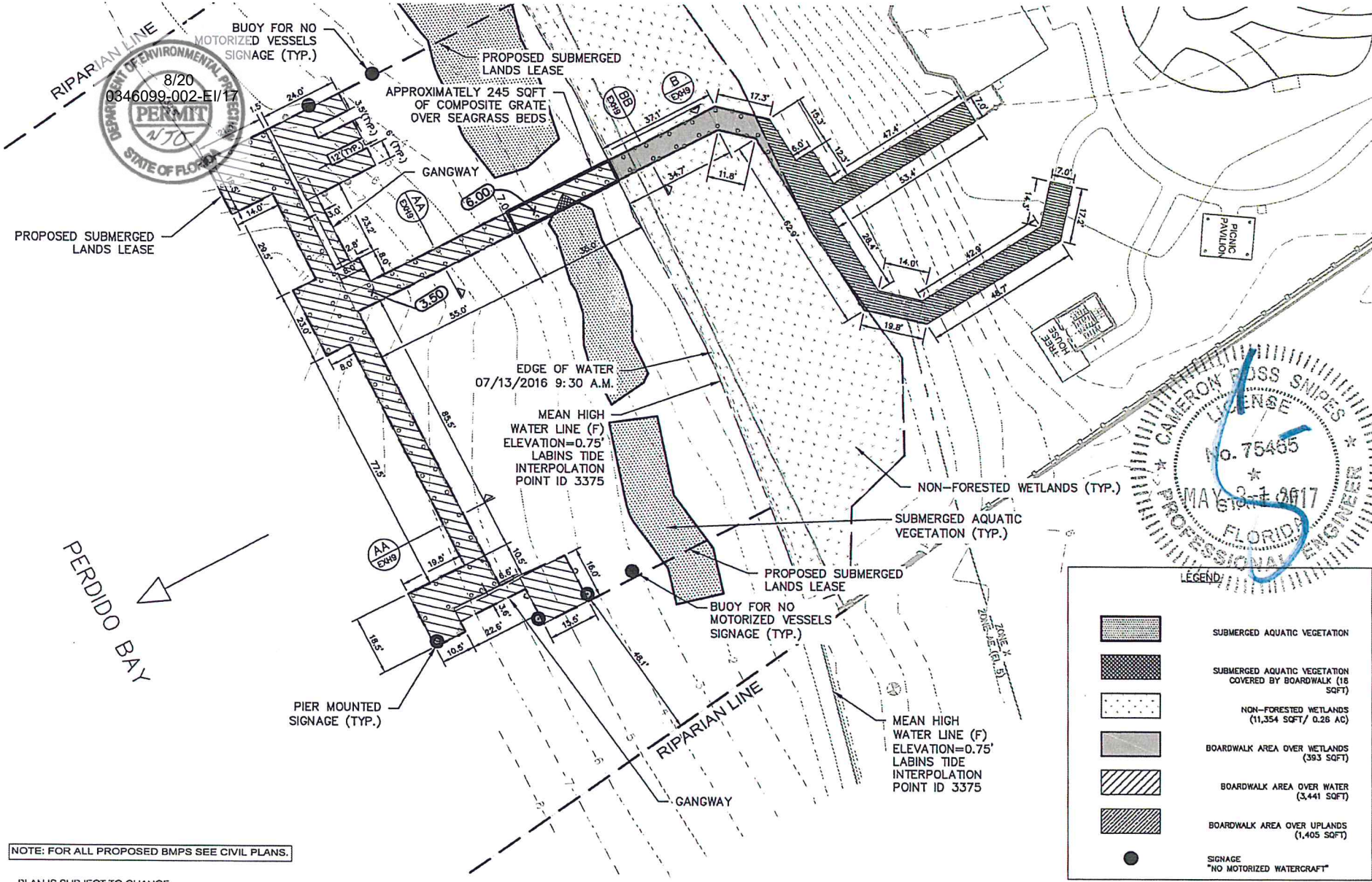
PREPARED FOR:
 The Trust for Public Land
 306 North Monroe Street
 Tallahassee, FL 32303

PERMIT DRAWINGS
INNERARITY POINT PARK
ESCAMBIA COUNTY, FLORIDA

WOOD PARTNERS INC. WPI
 Landscape Architects
 Land Planners
 FL LC0000364
 1211 Mossburne Rd Tallahassee, FL 32308
 850 381 0360 # Fax 850 386 1010 # www.woodandpartners.com



DATE: 01.17.17
 DRAWN BY: BB
 CHECKED BY: SK
 PROJECT NUMBER: 02-16009
 SHEET NUMBER: EXH6
 SHEET TITLE: OVERALL SITE PLAN



8/20
0846099-002-E/17
DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT
N70
STATE OF FLORIDA

CAMERON CROSS SNIPES
LICENSE
No. 75455
MAY 21 2017
FLORIDA
PROFESSIONAL ENGINEER

LEGEND:

	SUBMERGED AQUATIC VEGETATION
	SUBMERGED AQUATIC VEGETATION COVERED BY BOARDWALK (18 SQFT)
	NON-FORESTED WETLANDS (11,354 SQFT/ 0.26 AC)
	BOARDWALK AREA OVER WETLANDS (393 SQFT)
	BOARDWALK AREA OVER WATER (3,441 SQFT)
	BOARDWALK AREA OVER UPLANDS (1,405 SQFT)
	SIGNAGE "NO MOTORIZED WATERCRAFT"

NOTE: FOR ALL PROPOSED BMPS SEE CIVIL PLANS.

PLAN IS SUBJECT TO CHANGE.

PREPARED FOR:
The Trust for Public Land
306 North Monroe Street
Tallahassee, FL 32303

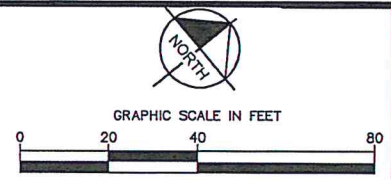
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PARK
ESCAMBIA COUNTY, FLORIDA

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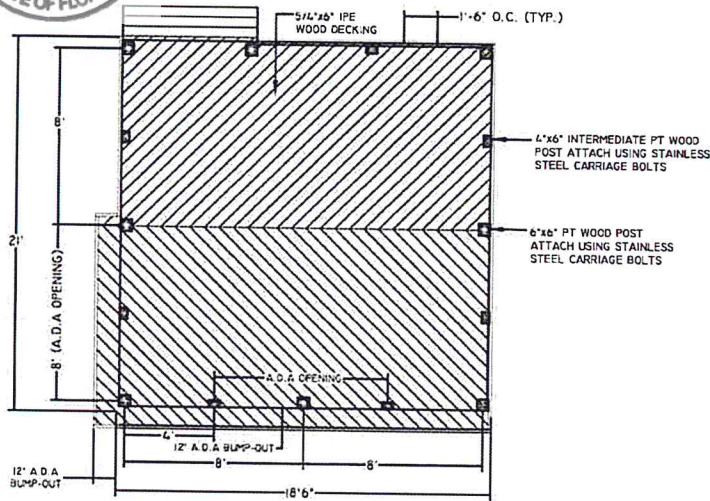
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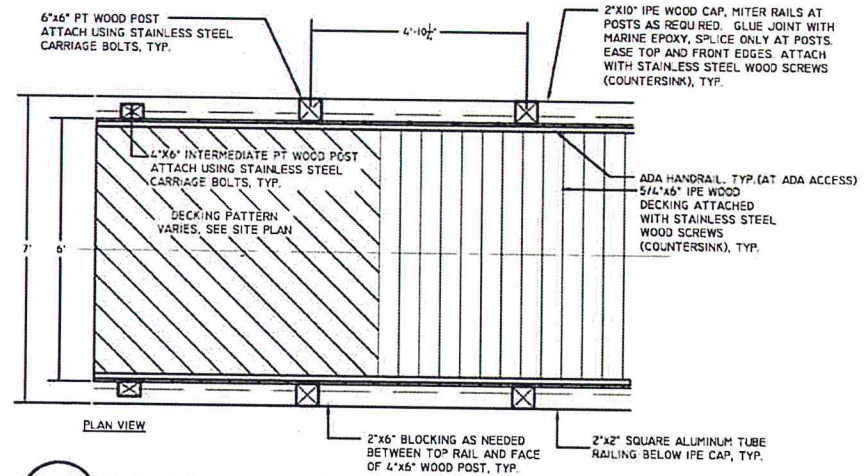
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01.11.17
PROJECT NUMBER
02-16011
SHEET TITLE
BOARDWALK AND
PIER PLAN

DRAWN BY: XX
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EXH7

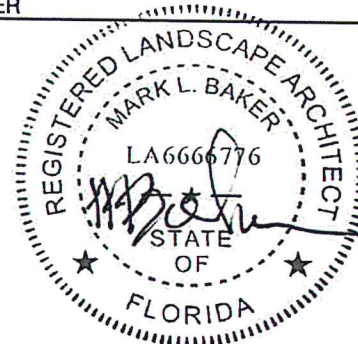


- GENERAL NOTES:**
1. ALL RAILS TO BE ALUMINUM WITH SHERMAN WILLIAMS "BRAINSTORM BRONZE" FINISH (SW 7033)
 2. ALL POSTS AND SUB-DECKING WOOD MEMBERS ARE TO BE MARINE GRADE PRESSURE TREATED WOOD
 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL 2"x2" PREFABRICATED RAILING AND RAILING CONNECTIONS
 4. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL A.D.A. HANDRAILS
 5. ALL PT WOOD TO BE FINISHED WITH SIERRA 808406 SEMI TRANS WOOD DEFENDER STANDARD PAINTS INC
 6. ALL IPE WOOD TO BE FINISHED WITH IPECIL CLEAR UV SEALANT DECKWISE INC

1 WOOD PIER DECKING PLAN
EXH8 NTS



2 PLAN BOARDWALK/ PIER
EXH8 1/4" = 1'-0"



PLAN IS SUBJECT TO CHANGE.
SURVEY INFORMATION PROVIDED BY NOBLES CONSULTING GROUP FILE# 5835-001 - AUGUST 5, 2016.

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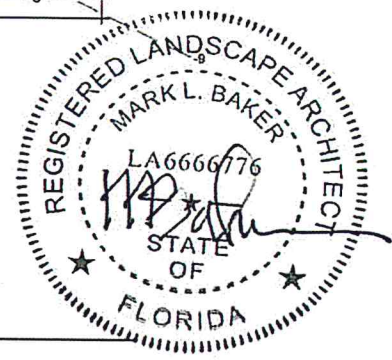
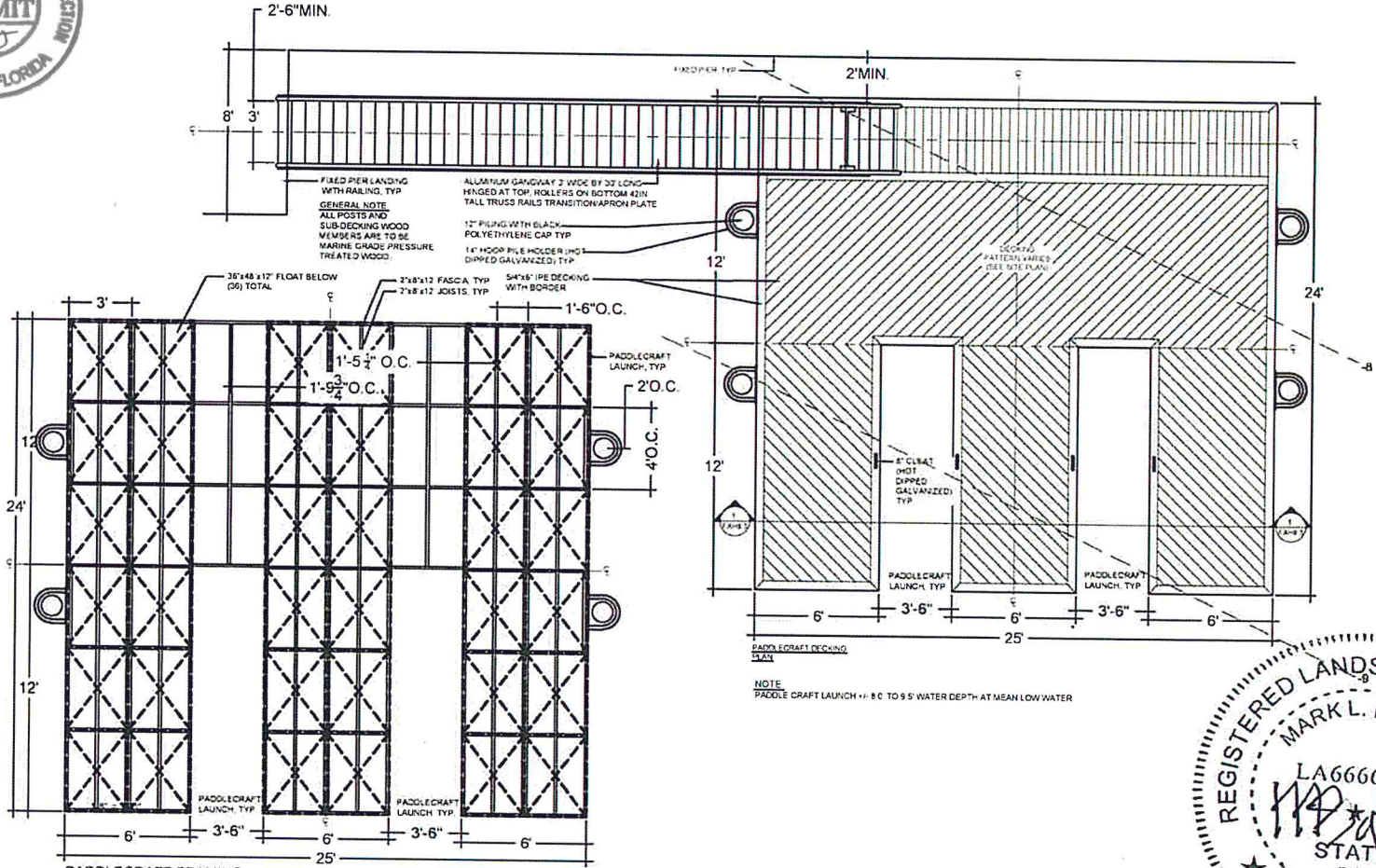
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DATE 01.17.17
PROJECT NUMBER 02-16009
SHEET TITLE PIER DECKING DETAILS

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CHECKED BY: SK
SHEET NUMBER EXH8



1 WOOD PADDLE CRAFT LAUNCH
EXH8.1 1/8" = 1'-0"

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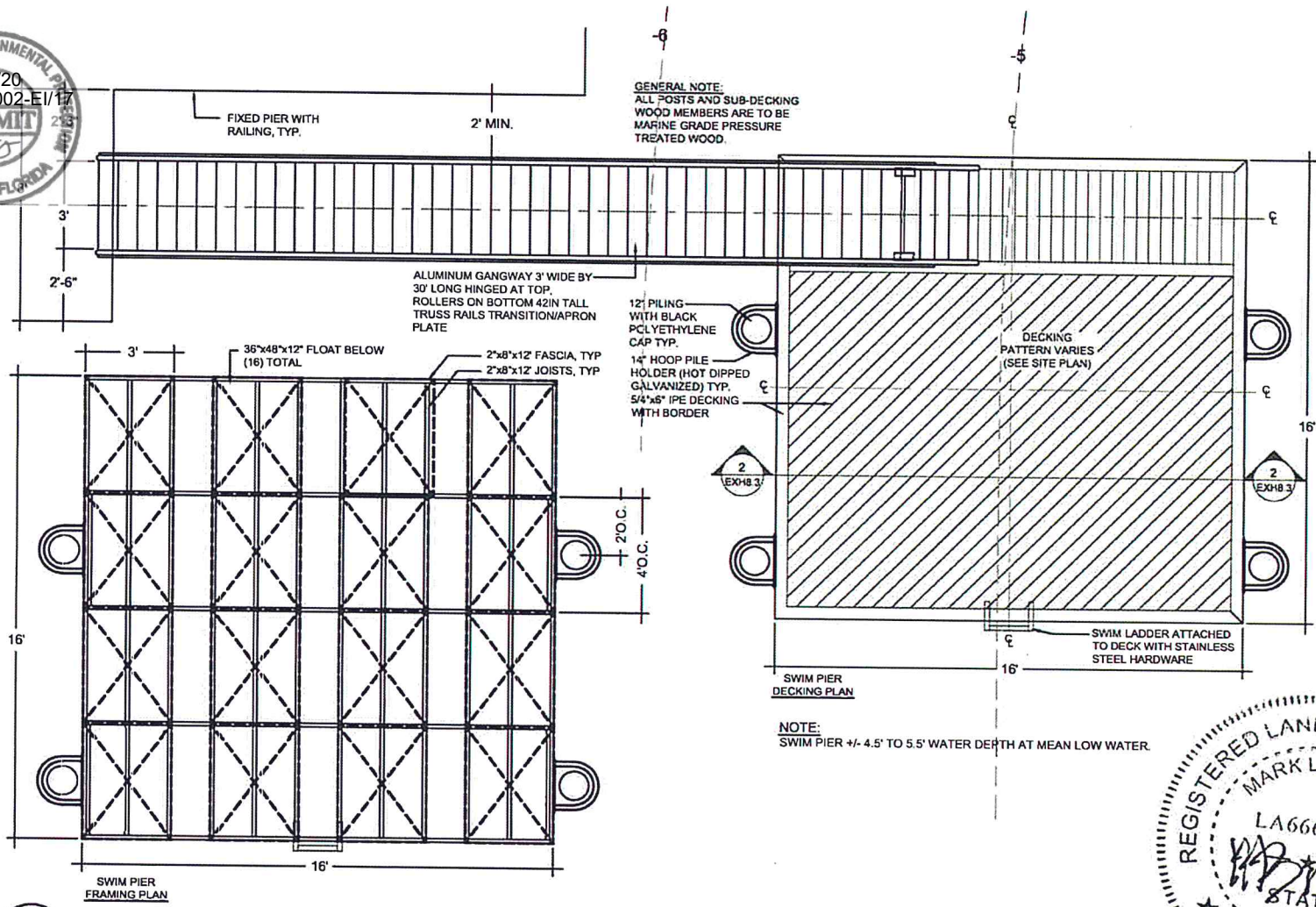
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CHECKED BY: SK
PROJECT NUMBER: 02-16009
SHEET NUMBER: EXH8.1
SHEET TITLE: FLOATING DOCK PLAN



GENERAL NOTE:
ALL POSTS AND SUB-DECKING
WOOD MEMBERS ARE TO BE
MARINE GRADE PRESSURE
TREATED WOOD.

ALUMINUM GANGWAY 3' WIDE BY
30' LONG HINGED AT TOP.
ROLLERS ON BOTTOM 42IN TALL
TRUSS RAILS TRANSITION/APRON
PLATE

12" PILING
WITH BLACK
POLYETHYLENE
CAP TYP.

14" HOOP PILE
HOLDER (HOT DIPPED
GALVANIZED) TYP.
5/4"x8" IPE DECKING
WITH BORDER

DECKING
PATTERN VARIES
(SEE SITE PLAN)

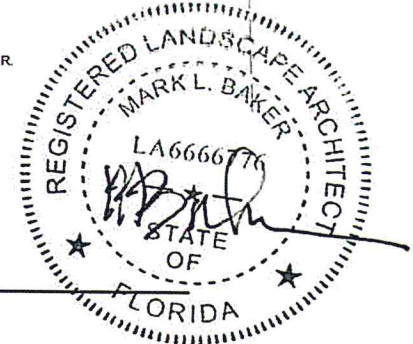
SWIM LADDER ATTACHED
TO DECK WITH STAINLESS
STEEL HARDWARE

SWIM PIER
DECKING PLAN

NOTE:
SWIM PIER +/- 4.5' TO 5.5' WATER DEPTH AT MEAN LOW WATER.

SWIM PIER
FRAMING PLAN

1 SWIM ACCESS PIER
EXH8.2 3/16" = 1'-0"



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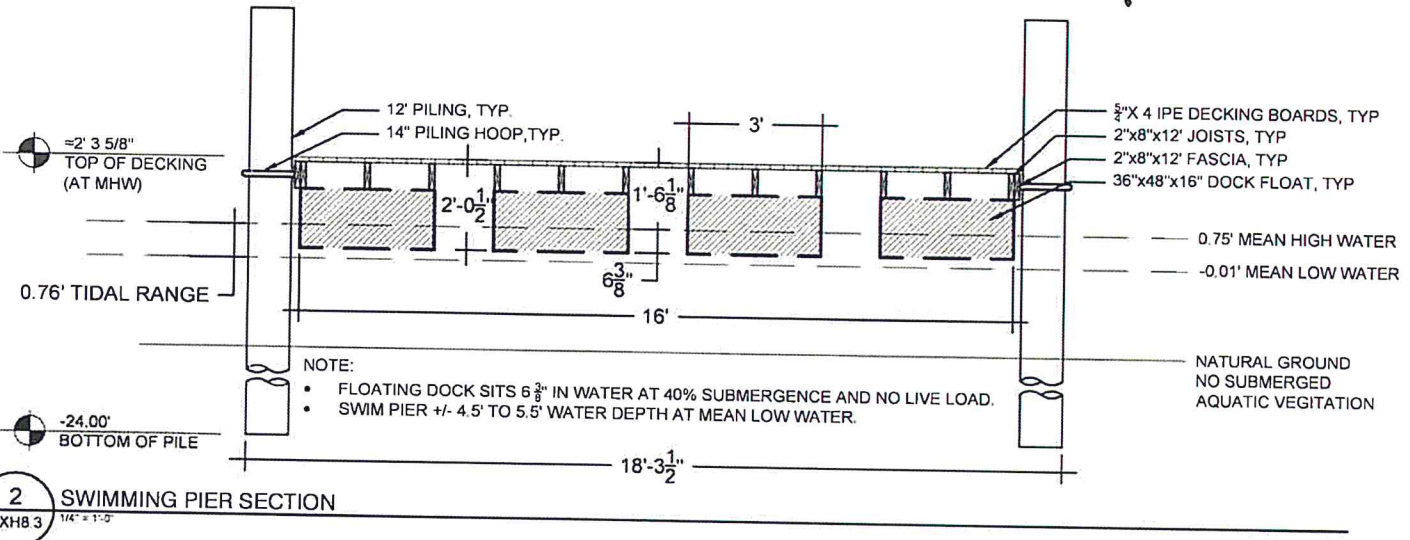
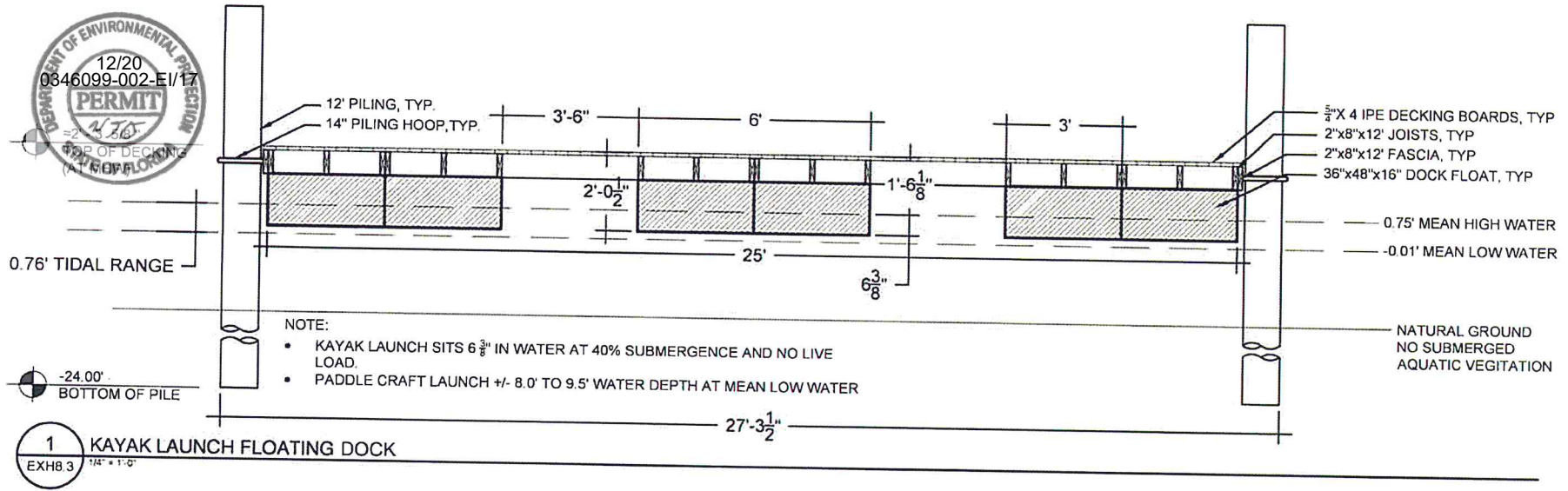
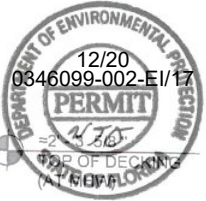
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SHEET TITLE FLOATING DOCK PLAN EXH8.2





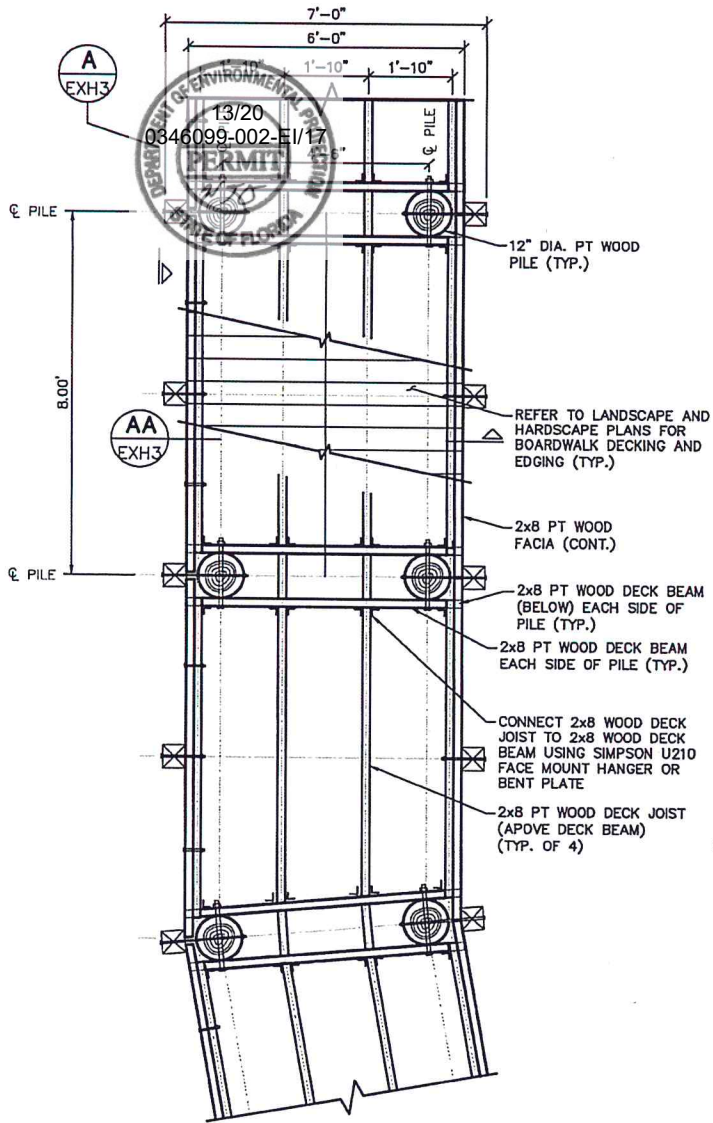
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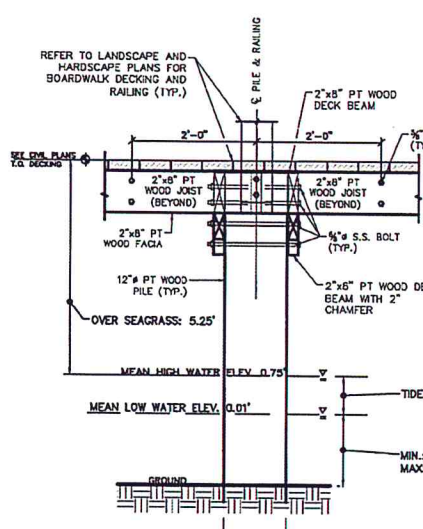
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PROJECT NUMBER 02-16009
SHEET NUMBER EXH8.3
SHEET TITLE FLOATING DOCK SECTIONS

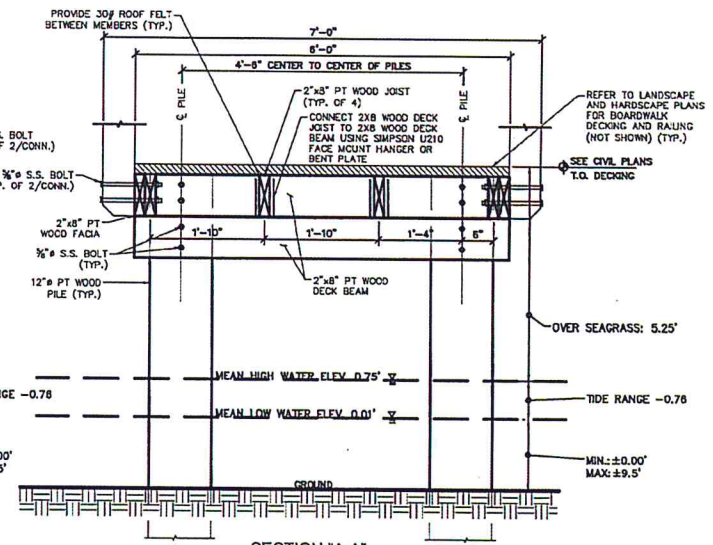


TYPICAL BOARDWALK PLAN VIEW

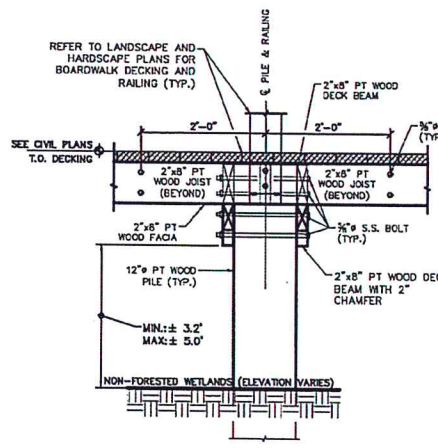
SCALE: N.T.S



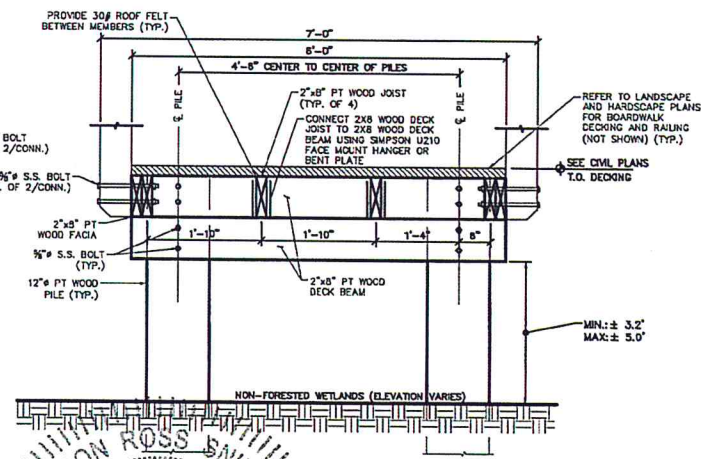
VIEW "A"
TYPICAL BOARDWALK ELEVATION OVER WATER
SCALE: N.T.S.



SECTION "A-A"
TYPICAL BOARDWALK SECTION OVER WATER
SCALE: N.T.S.



VIEW "B"
TYPICAL BOARDWALK ELEVATION OVER WETLAND
SCALE: N.T.S.



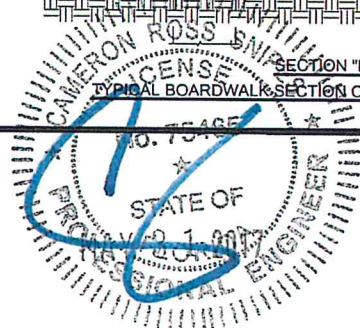
SECTION "B-B"
TYPICAL BOARDWALK SECTION OVER WETLAND
SCALE: N.T.S.

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DETAILS

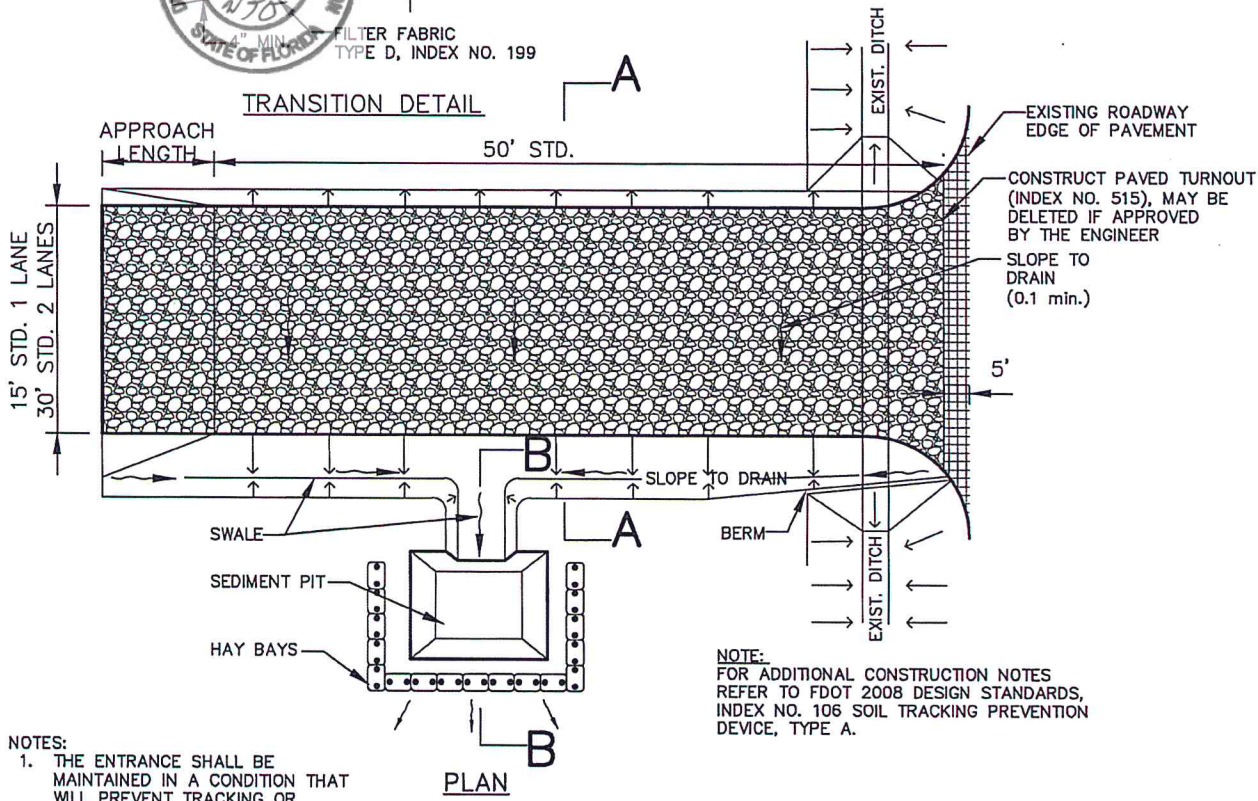
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NUMBER
EXH9

APPROACH



FILTER FABRIC
TYPE D, INDEX NO. 199

TRANSITION DETAIL



PLAN

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

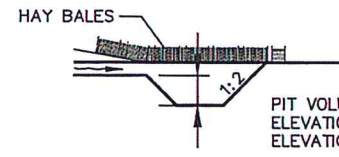
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

NOTE:
FOR ADDITIONAL CONSTRUCTION NOTES
REFER TO FDOT 2008 DESIGN STANDARDS,
INDEX NO. 106 SOIL TRACKING PREVENTION
DEVICE, TYPE A.

SOIL TRACKING PREVENTION DEVICE

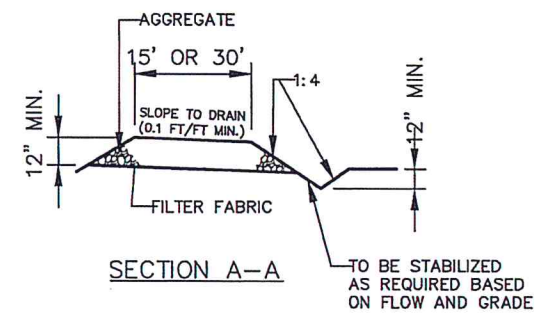
N.T.S.

FIGURE 1



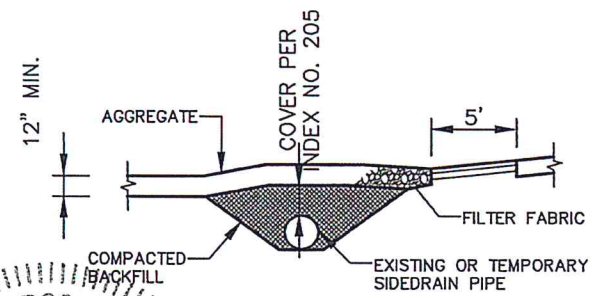
SECTION B-B

PIT VOLUME IS BELOW THE INLET
ELEVATION OR THE OUTLET
ELEVATION WHICHEVER IS LOWER.



SECTION A-A

TO BE STABILIZED
AS REQUIRED BASED
ON FLOW AND GRADE



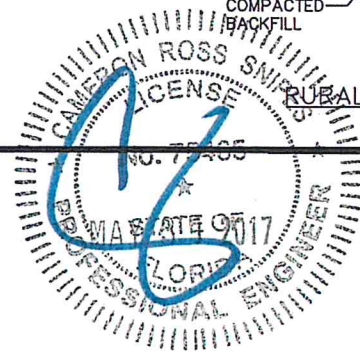
RURAL CONNECTION DETAIL

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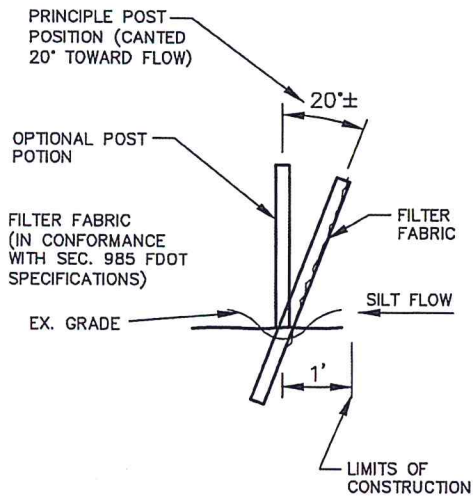
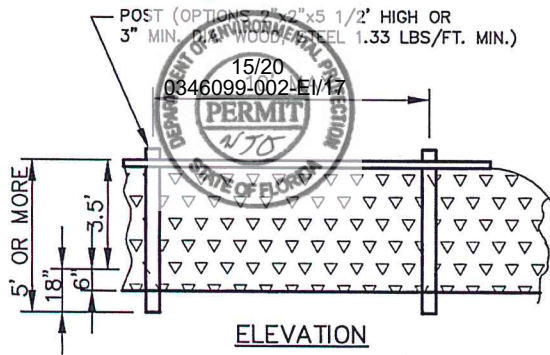
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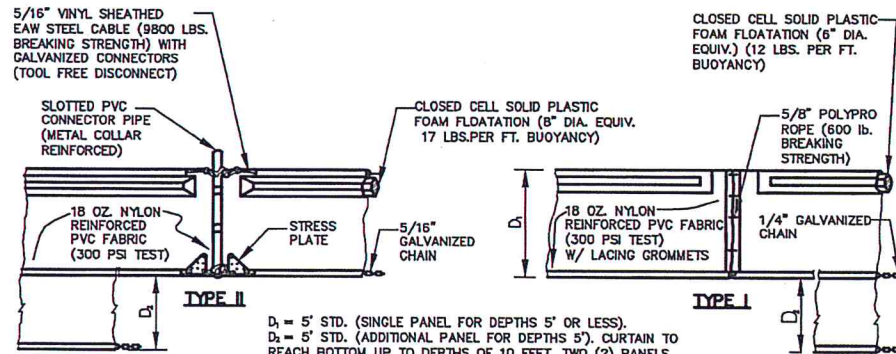
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EXH10



SEDIMENT BARRIER
N.T.S.

FIGURE 2

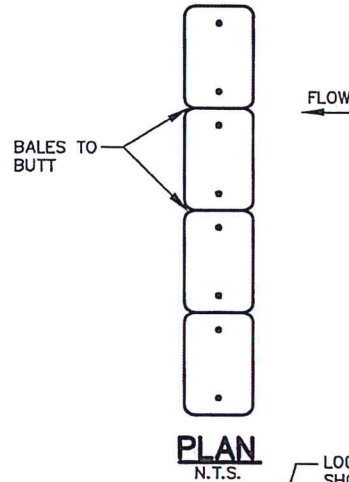


D₁ = 5' STD. (SINGLE PANEL FOR DEPTHS 5' OR LESS).
D₂ = 5' STD. (ADDITIONAL PANEL FOR DEPTHS 5'). CURTAIN TO REACH BOTTOM UP TO DEPTHS OF 10 FEET. TWO (2) PANELS TO BE USED FOR DEPTHS GREATER THAN 10 FEET UNLESS SPECIAL DEPTH CURTAINS SPECIFICALLY CALLED FOR IN THE PLANS OR AS DETERMINED BY THE ENGINEER.

NOTE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS
N.T.S.

FIGURE 4



LOOSE SOIL PLACED BY SHOVEL AND LIGHTLY COMPACTED ALONG UPSTREAM EDGE OF BALES

FIGURE 3

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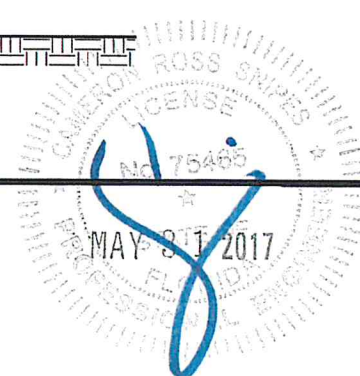
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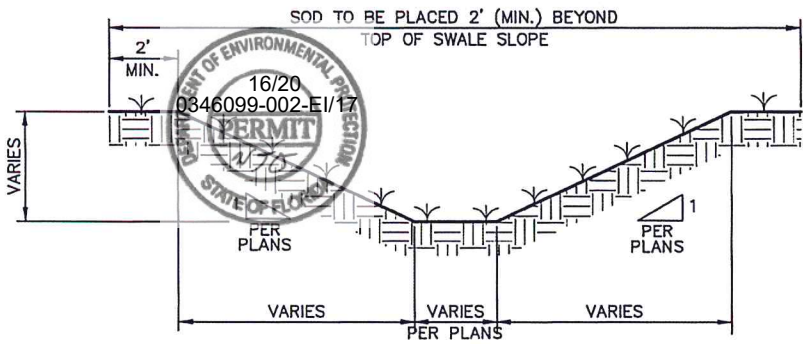
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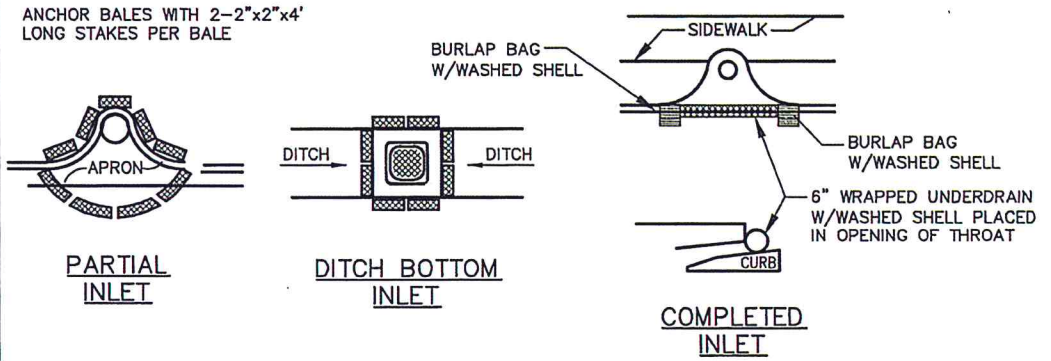
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SHEET NUMBER
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TYPICAL SWALE SECTION
N.T.S.

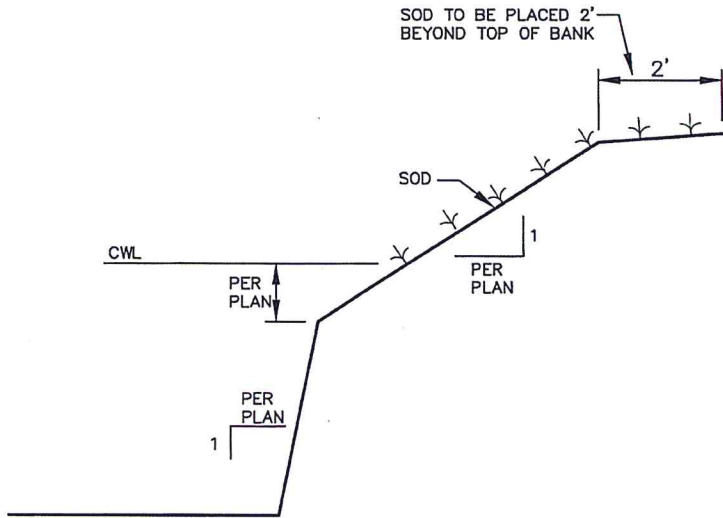
FIGURE 5



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

N.T.S.

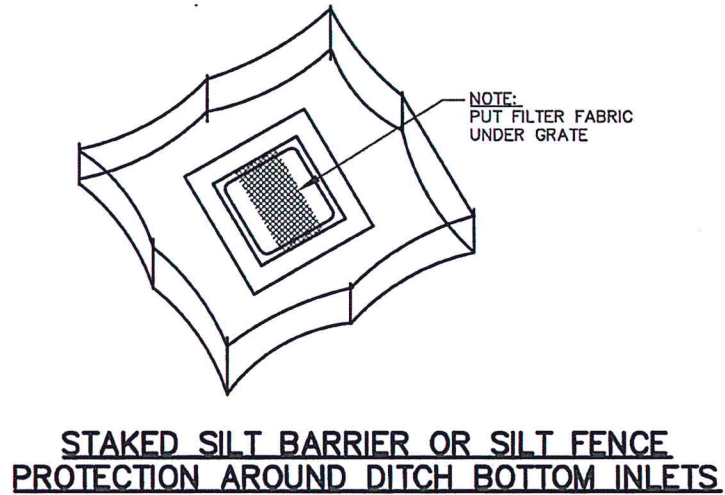
FIGURE 7



TYPICAL RETENTION/DETENTION POND SECTION

N.T.S.

FIGURE 6



**STAKED SILT BARRIER OR SILT FENCE
PROTECTION AROUND DITCH BOTTOM INLETS**

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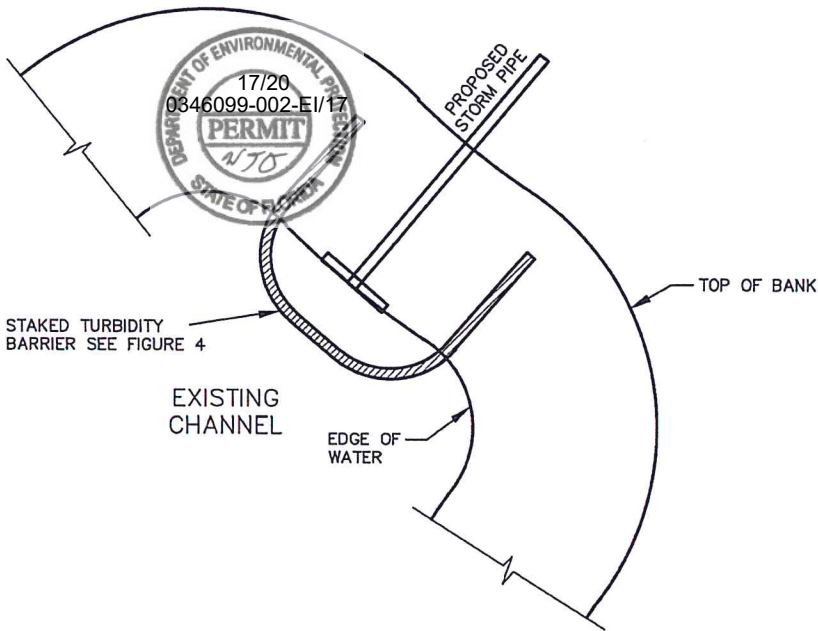
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FIGURE 8

CAMERON ROSS
N.T.S.S.M.P.E.
No. 75465

STATE OF FLORIDA
MAY 3 1 2017
PROFESSIONAL ENGINEER

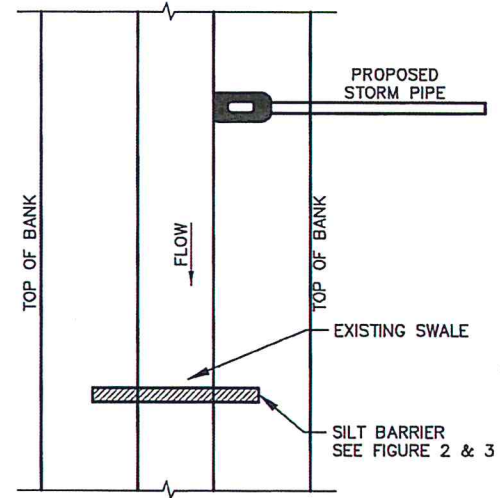
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FLOATING TURBIDITY BARRIER AT CONNECTION OF STORM PIPE TO EXISTING LAKE

N.T.S.

FIGURE 9



SILT BARRIER AT CONNECTION OF STORM PIPE TO EXISTING SWALE

N.T.S.

FIGURE 10

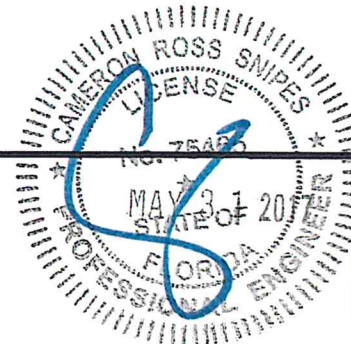
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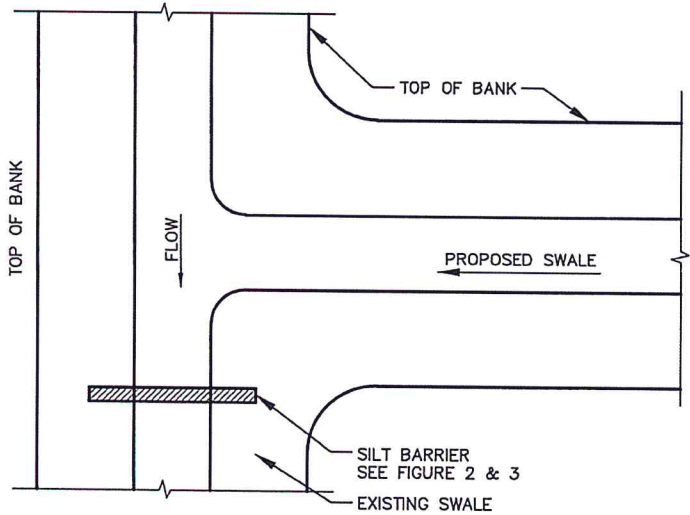
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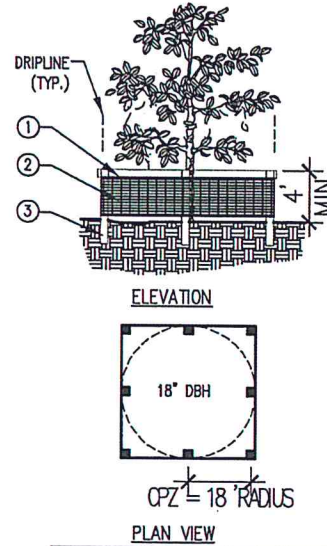
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 SHEET TITLE
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EXH13



SILT BARRIER AT CONNECTION OF SWALE TO EXISTING SWALE
N.T.S.

FIGURE 11



1. 1" X 4" STRINGER
2. 4' HEIGHT "PERIMETER PLUS" CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNER'S REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
3. 2" x 4" PRESSURE TREATED WOOD POSTS OR 2" DIAMETER OR LARGER PIPE.

INSTALLATION NOTES:

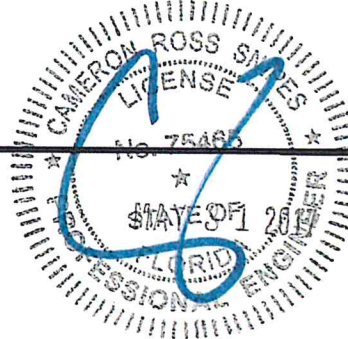
- A. POSTS SHALL BE DEEP ENOUGH IN THE GROUND TO BE STABLE AND TO EXTEND TO A MINIMUM HEIGHT OF 4' ABOVE THE GROUND.
- B. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).
- C. ONE 1" X 4" STRINGER BETWEEN ALL POSTS. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.
- D. CRITICAL PROTECTION ZONE (CPZ) IS DETERMINED BY THE AREA WITHIN THE CIRCLE DESCRIBE BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE'S DIAMETER AT BREAST HEIGHT.
- E. ANY DAMAGE TO TREE PROTECTION SHALL BE CORRECTED IMMEDIATELY. NO ADDITIONAL PAYMENT.

NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

TREE PROTECTION

N.T.S.

FIGURE 12



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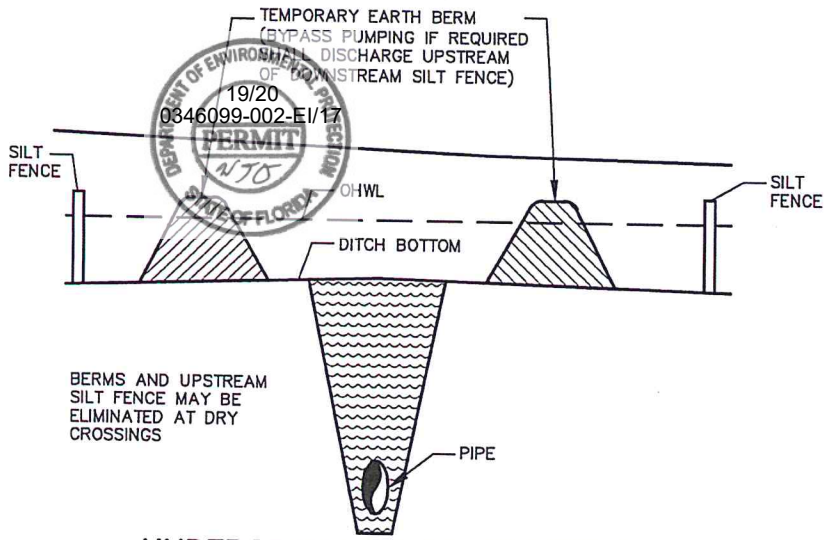
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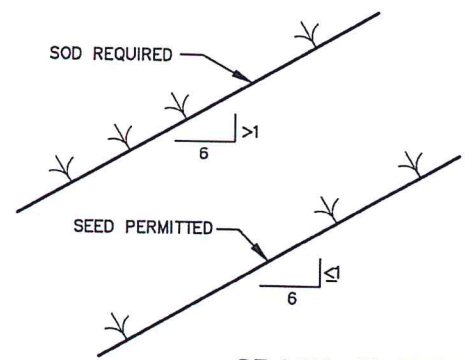
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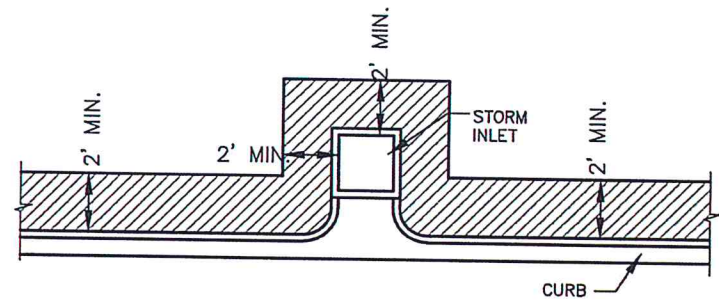
UNDERGROUND PIPE CROSSING
N.T.S.

FIGURE 13



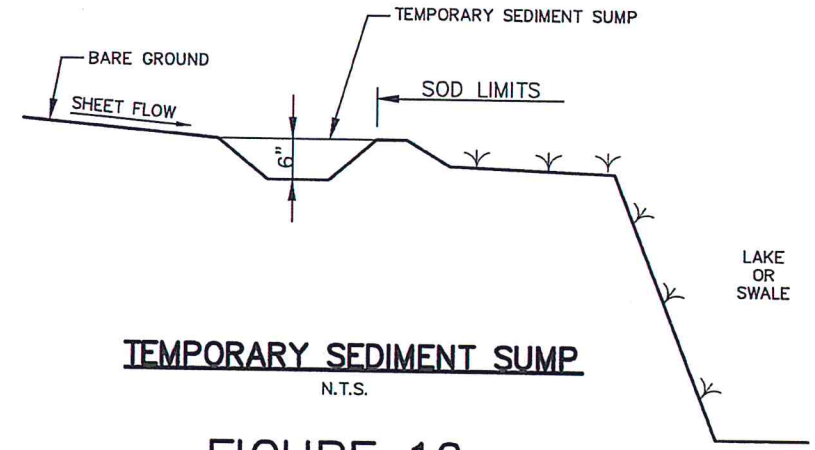
GRASS SLOPES
N.T.S.

FIGURE 14



SOD ALONG CURB AND AROUND INLET
N.T.S.

FIGURE 15



TEMPORARY SEDIMENT SUMP
N.T.S.

FIGURE 16

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306 North Monroe Street
Tallahassee, FL 32303

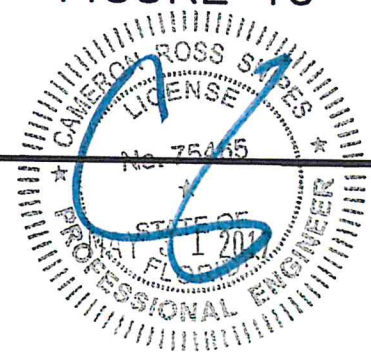
THE TRUST FOR PUBLIC LAND

PERMIT DRAWINGS
INNERARITY POINT
PARK
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	BY

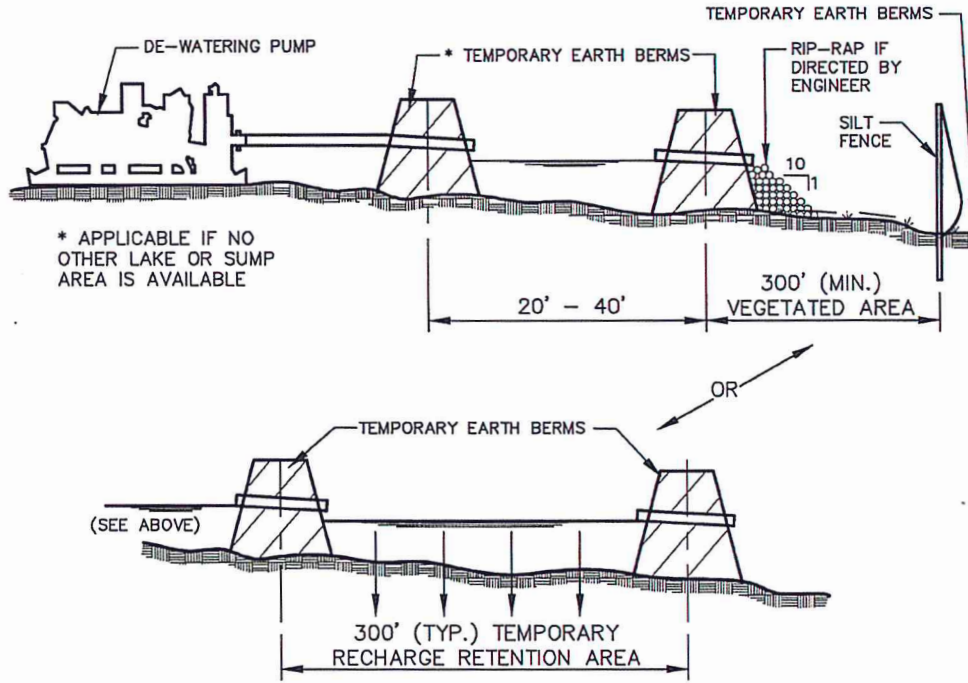
Wood+Partners Inc. WVPi
Landscape Architects
Land Planners
FL LC000364

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DATE
01.11.17
PROJECT NUMBER
02-16011
SHEET TITLE
SWPPP DETAILS

DRAWN BY: XX
CHECKED BY: XX
SHEET NUMBER
EXH15



TYPICAL DE-WATERING DISCHARGE PLAN

N.T.S.

FIGURE 17

PLAN IS SUBJECT TO CHANGE.

PREPARED FOR:
The Trust for Public Land
306 North Monroe Street
Tallahassee, FL 32303

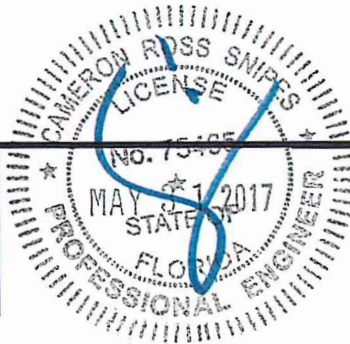
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SHEET TITLE SWPPP DETAILS	SHEET NUMBER EXH16

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "MANUAL OF PRACTICES AND SPECIFICATIONS" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVED AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DESTRUCTIVE MATERIALS.
3. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. CLARIFICATION IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE WORTHY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE WORTHY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO SHORE, BRACE, STRING OR LOCATE A UTILITY. THE UTILITY COMPANY OR AGENCY AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROPRIATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEO-TECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION OF THE ENGINEER.
8. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A SCHEDULED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATIONS OF ALL CONTROL POINTS AND MONUMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESS OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT INFORMATION FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
11. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION WILL BE CONSIDERED AS ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
14. ALL STORM DRAIN LINES AND ACCESSORIES SUCH AS, BUT NOT LIMITED TO PIPES, INLETS, CONTROL STRUCTURES, UNDERDRAINS AND SWALES WILL BE CONSTRUCTED TO ALIGNMENT AND LOCATIONS SHOWN ON PLANS UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
15. THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVD8) IS THE BENCHMARK DATUM FOR THIS PROJECT.
16. THE MAINTENANCE OF TRAFFIC FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE APPLICABLE DOT HOOK NUMBERS (600 SERIES) AND THESE DOCUMENTS. THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (U.S. DEPARTMENT OF TRANSPORTATION, FHWA), SHALL BE FOLLOWED IN THE DESIGN, APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS. PEDESTRIAN AND VEHICULAR TRAFFIC SHALL BE MAINTAINED AND PROTECTED AT ALL TIMES.
17. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND FLORIDA ACCESSIBILITY CODE (FAC).

SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYOUT, PORTA-POTTIES, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. IMMEDIATELY GRUB THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

- PHASE 1:
1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1) AND INSTALL SILT FENCE.
 2. CONSTRUCT AND STABILIZE SEDIMENT BASIN AND DRAINAGE SWALES WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONTROL DEVICES LISTED ABOVE)
 3. INSTALL INLET PROTECTION AT EXISTING INLETS.
 4. INSTALL STABILIZE ANY EXISTING CONTROL STRUCTURES (Dikes, CHECK DAMS, OUTLET TRAPS, RISER PIPE DISCHARGE POINT, ETC.)
 5. PERFORM CLEARING AND GRUBBING OF THE SITE, IF APPLICABLE.
- PHASE 2:
1. PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 2. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
 3. TEMPORARILY SEED WITHIN OF ALL CLEFTS THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE NACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY GENERIC PERMIT.

HALT ALL ACTIVITIES AND CONTACT THE CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH CONSULTANT AND ALL GROUND-DESTRUCTING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

MAINTENANCE

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION CONSTRUCTION (LATEST EDITION) AND CONSTRUCTION SPECIFICATIONS (LATEST EDITION) OR FOOT-COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING.
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED, FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 901 OF THE STANDARD SPECIFICATIONS.
 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED; SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 6. OUTFALL STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES; SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50 CUBIC YARDS / ACRE.
 7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC. LOCATED WITHIN THE PROJECT SITE (UNLESS OTHERWISE NOTED). ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS ARE TO BE REMOVED MAY NOT BE DEPICED ON THE TOPOGRAPHIC SURVEY. IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED, IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND TREE INVENTORY PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
4. CONTRACTOR SHALL ADJUST GRADE OF ANY EXISTING UTILITIES TO REMAIN.
5. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCOMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PROPOS. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
6. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER IMMEDIATELY.
7. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
8. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
9. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY THE OWNER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
10. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
11. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJACENT ROADS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
12. DEMATERING SHOULD BE ANTICIPATED AND INCLUDED.
13. ALL ASPHALT TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
14. WHERE REMAINING, INLETS, MANHOLE COVERS, AND VALVE COVERS TO BE PROTECTED IN PAVEMENT REMOVAL AREAS, CONTRACTOR SHALL REPLACE DAMAGED STRUCTURES AT THEIR DISPOSE.
15. THE SOIL TYPES FOUND ON SITE WERE GENERALLY LAYERS OF LOOSE TO MEDIUM DENSE FINE-GRAINED SAND (SP) AND SAND WITH SILT (SP-SM) UNDERLAIN BY MEDIUM-DENSE TO VERY DENSE FINE-GRAINED SAND (P) AND SAND WITH SILT AND ORGANIC STAIN (SP-SM).
16. THE PARCEL APPEARS TO LIE IN FLOOD ZONES V AND AE (EL 5) AS DETERMINED BY SCALE FROM FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 15000 0505 G, ESCAMBIA COUNTY, DATED SEPTEMBER 29, 2006.
17. THE PROPOSED DRAINAGE SYSTEM WILL DRAIN TO PERIOD DRAIN.
18. CONTRACTOR TO PRESERVE/PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. CONTRACTOR SHALL REPLACE DAMAGED STRUCTURES AT THEIR DISPOSE.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FOOT-SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SOCCED.
3. TRAFFIC CONTROL ON ALL FOOT, LOCAL, AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHWA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REPAIR WASHWATS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SOCCED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVED SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT TO A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
8. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
9. IF DEMATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
10. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
11. FIELD BENTH TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FOOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
12. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SOCCED OR SEEDS AS SPECIFIED IN THE PLANS. FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE COVERED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EXPOSED AREAS WILL BE SOCCED OR SEEDS AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT BLOWN AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND HANDLING SOL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS AT NO TO THE SHALL SHALL BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
15. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SOILS WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
16. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT CONTRACT WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY FOUR REPRESENTATIVES.
17. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
18. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.
19. ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.
20. SIDEWALKS SHALL NOT EXCEED 1.908 CROSS SLOPE AND 4.908 LONGITUDINAL SLOPE.
21. SPOT ELEVATIONS ARE AT EDGE OF PAVEMENT.
22. SEE SHEET C700 FOR APPROXIMATE LOCATIONS OF EXISTING UTILITIES.
23. MAXIMUM CUT OR FILL SLOPES IS 4H:1V UNLESS OTHERWISE NOTED.
24. ALL THE ELEVATIONS SHOWN ARE FINISHED GRADE ELEVATIONS. CONTRACTOR TO SUBTRACT PAVEMENT THICKNESS AND FLOOR SLAB THICKNESS FOR SUBGRADE ELEVATIONS.
25. CONTRACTOR TO CONSTRUCT DRAINAGE STRUCTURES WITH USG GRATES, RIMS AND COVERS AS CALLED OUT OR APPROVED EQUAL. SHOP DRAWINGS ARE TO BE PROVIDED TO ENGINEER FOR APPROVAL PRIOR TO ANY CONSTRUCTION.
26. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED WITH (4) SOED BEARING HEAVY DUTY TRAFFIC RIMS AND GRATES.
27. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND PLUMBING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL VESTIBULES, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE LOCATIONS.
28. STORM PIPE SHALL BE AS FOLLOWS:
 - A. ROP CLASS III PER ASTM C-76.
 - B. ALUMINUM STEEL, THE 2" ULTRA FLO 2" AND SMALLER SHALL BE 3/4" x 3/4" 7'-1/2" CORRUGATION, 16 GA WITH A MINIMUM THICKNESS OF 0.064".
 - C. 24" AND LARGER SHALL BE 3/4" x 3/4" 7'-1/2" CORRUGATION, 14 GA WITH A MINIMUM THICKNESS OF 0.079".
 - D. CORRUGATED POLYETHYLENE PIPE PER ASTM M234.
 - E. ANY STORM PIPE USE MUST BE APPROVED BY LOCAL AUTHORITIES.
 - F. CONTRACTOR SHALL SELECT THE MOST ECONOMICAL PRODUCT.

- CONTRACTOR NOTICE 2011 (revised July 2011)
1. Accessible parking spaces shall be located on an accessible route no less than 44" wide so that users will not be compelled to walk on wheel behind building walls. (208.3 and 502.1, FACBC and F.S. 555.5041.
 2. Accessible parking spaces and access aisles serving a particular building shall be located on the shortest accessible route from the accessible entrance. (208.3.1 FACBC and F.S. 555.5041)
 3. Accessible parking spaces shall be 12' wide, outlined with blue paint. (502.2 FACBC)
 4. Access aisles required adjacent to parking spaces shall be 5' wide with diagonal striping. (502.2 & 502.3 FACBC)
 5. Parking spaces and access aisles shall be level (not exceed 1/48") on a stable, firm & slip resistant surface. (502.1 and 502.4 FACBC)
 6. Accessible Parking signs shall be FDOT approved and shall read "PARKING BY DISABLED PERMIT ONLY" and shall indicate a \$250 fine for illegal use. Inland signs a minimum 62 inches from the ground to the bottom of the sign(s). (502.6.1 and F.S. 553.5041)
 7. Curb ramp slopes shall not exceed 1:12 slope; the crosser slope of adjacent road surfaces & gutters shall not exceed 1:20 slope. Curb ramp side slopes shall not exceed 1:12 slope. Curb ramps shall not encroach parking spaces or access aisles. (506, FACBC)
 8. All ramps with a rise greater than 4" shall provide edge protection complying with 405.9.1 FACBC or 405.9.2 FACBC. Ramps shall have 60" min level landings at the top & bottom. (506.7 FACBC)
 9. All ramps with a rise greater than 1" shall have handrails on both sides with 18" horizontal extensions at the top & bottom of the ramps. (510.9.3 FACBC)
 10. Accessible route to "main entry" from an accessible parking space shall not exceed 1:20 slope (unless ramps and handrails are provided) with cross-slope not in excess of 1:48. (520 FACBC)
 11. Accessible route to "public way" shall not exceed 1:20 slope (unless ramps with handrails are provided). The maximum cross slope of the accessible route is 1:48. (520 FACBC)
 12. "Covered buildings within the same site with an accessible route which shall not exceed 1:20 slope (unless ramps and handrails are provided) and a maximum cross slope of 1:48. (520 FACBC)
 - * EXEMPTION: An accessible route shall not be required between accessible buildings, accessible facilities, accessible elements, and accessible spaces if the only means of access between them is a vehicle way not providing pedestrian access. (520.1-2 FACBC)



CONSTRUCTION DOCUMENTS
 INNERARITY POINT
 PARK
 ESCAMBIA COUNTY, FLORIDA

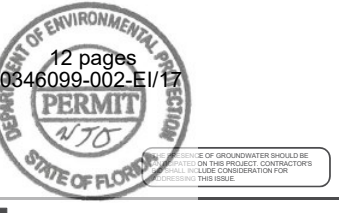
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 DRAWN BY: KEG
 PROJECT: GRS
 APPROVAL: CRS
 CHECKED BY: KVL/CRS
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#	REVISION	DATE	DATE

DATE: DECEMBER 16, 2016
 PROJECT NUMBER: 02-16009
 SHEET TITLE: GENERAL NOTES
C101

SHEET NUMBER: C101



THE DEPARTMENT OF ENVIRONMENTAL PROTECTION SHALL CONSIDERATION FOR THIS ISSUE.

U:\181_Consolidated\181-001-InnerarityPark\Drawings\181-001-General_Notes.dwg 2/14/2016 8:50:07 PM CHAMBERS, COLIVER

SURVEY INFORMATION PROVIDED BY NOBLES CONSULTING GROUP FILE# 8838-001 - AUGUST 5, 2016.
 PLAN IS SUBJECT TO CHANGE.

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 2815 CENTINELA BOULEVARD, SUITE 102
 TALLAHASSEE, FL 32308 PHONE: 850-553-3500
 WWW.KIMLEY-HORN.COM CA 00060696

1011 WASHINGTON BL & Tallahassee, FL 32304
 850.391.0800 • Fax 850.398.1010 • www.woodpartners.com

Area Data

Total Site Area (SF):	149,357 SF	3.43 AC	
Existing Impervious Areas:	5,445 SF	0.13 AC	3.65 %
Building Footprint:	2,182 SF	0.05 AC	1.46 %
Asphalt Paving:	- SF	- AC	0.00 %
Misc. Concrete:	3,263 SF	0.07 AC	2.18 %
Existing Pervious Area:	143,912 SF	3.30 AC	96.35 %
Proposed Impervious Area:	48,691 SF	1.12 AC	32.60 %
Pervious Concrete:	19,809 SF	0.45 AC	13.26 %
Concrete Pavers:	1,166 SF	0.03 AC	0.78 %
Concrete Sidewalk:	12,043 SF	0.28 AC	8.06 %
Boardwalk/Pier:	3,351 SF	0.08 AC	2.24 %
Medium Pavilion (1):	520 SF	0.01 AC	0.35 %
Large Pavilion (1):	880 SF	0.02 AC	0.59 %
Picnic Pavilion (4):	1,248 SF	0.03 AC	0.84 %
Lookout Tower (1):	530 SF	0.01 AC	0.35 %
Restrooms (1):	1,486 SF	0.03 AC	0.99 %
Playground (2):	7,660 SF	0.18 AC	5.13 %
Proposed Pervious Area:	100,665 SF	2.31 AC	67.40 %
SWMF:	5,145 SF	0.12 AC	3.44 %
Other:	95,520 SF	2.19 AC	63.95 %

General Information

Property Tax ID (R/S): 14-35-32-5000-010-001

Site Address: 5835 Cruzat Way

Zoning District: R-6

Setbacks:
 Front: 10 FT
 Rear: 0 FT
 Side: 20 FT / 15 FT
 Corner: 0 FT

Existing Use(s): One-Story Residence

Proposed Use(s): Public Park

Parking Data

Existing Parking Spaces: 0 spaces

Proposed Parking Spaces:
 Total number of existing spaces: 0 spaces
 Number of regular spaces provided: 41 spaces
 Number of ADA spaces provided: 3 spaces
 Total number of spaces provided: 44 spaces

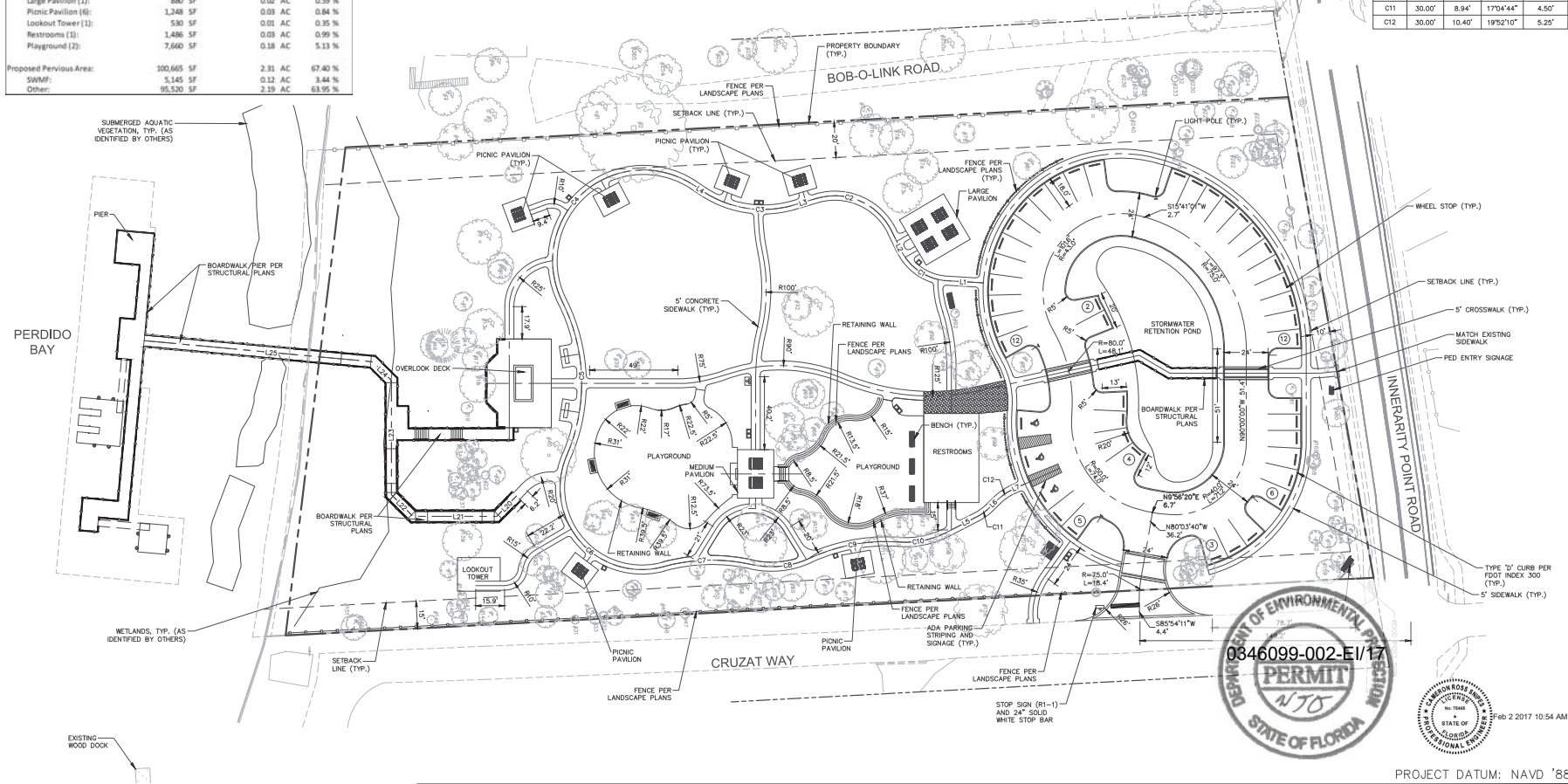
BOARDWALK

TAG	LENGTH	BEARING
L20	15.66	S45°42'42.38"E
L21	45.95	S0°00'00.00"E
L22	16.91	S45°00'00.00"W
L23	62.89	N90°00'00.00"W
L24	14.54	S45°00'00.00"W
L25	126.44	S51°7'33.15"W

SIDEWALK

TAG	LENGTH	BEARING
L1	20.17	S32°3'50.67"W
L2	11.41	S64°02'27.73"W
L3	13.44	S167°3'55.69"E
L4	6.27	S33°31'15.56"W
L5	18.23	N27°08'46.29"W
L6	6.07	N44°1'30.71"W
L7	7.26	N24°21'20.90"W

CURVE	RADIUS	LENGTH	DELTA	TANGENT
C1	30.00'	31.75'	60°38'37"	17.55'
C2	35.00'	49.04'	80°16'23"	29.51'
C3	60.00'	52.10'	49°45'11"	27.82'
C4	50.00'	131.13'	150°5'43"	188.32'
C5	100.00'	46.67'	28°44'27"	23.77'
C6	45.00'	101.16'	128°47'53"	93.92'
C7	100.00'	48.95'	28°02'43"	24.97'
C8	50.00'	32.70'	37°28'20"	16.96'
C9	100.00'	50.61'	28°59'55"	25.86'
C10	50.00'	27.32'	31°18'15"	14.01'
C11	30.00'	8.94'	170°44'44"	4.50'
C12	30.00'	10.40'	195°2'10"	5.25'

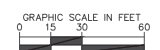


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 PLAN IS SUBJECT TO CHANGE.



CONSTRUCTION DOCUMENTS
INNERARITY POINT PARK
 ESCAMBIA COUNTY, FLORIDA

NOT FOR CONSTRUCTION

DESIGNED BY: CRS
 DRAWN BY: KEG
 PROJECTOR: CRS
 SRPROJECTOR: CRS
 CHECKED BY: KVL/CRS

DATE: _____

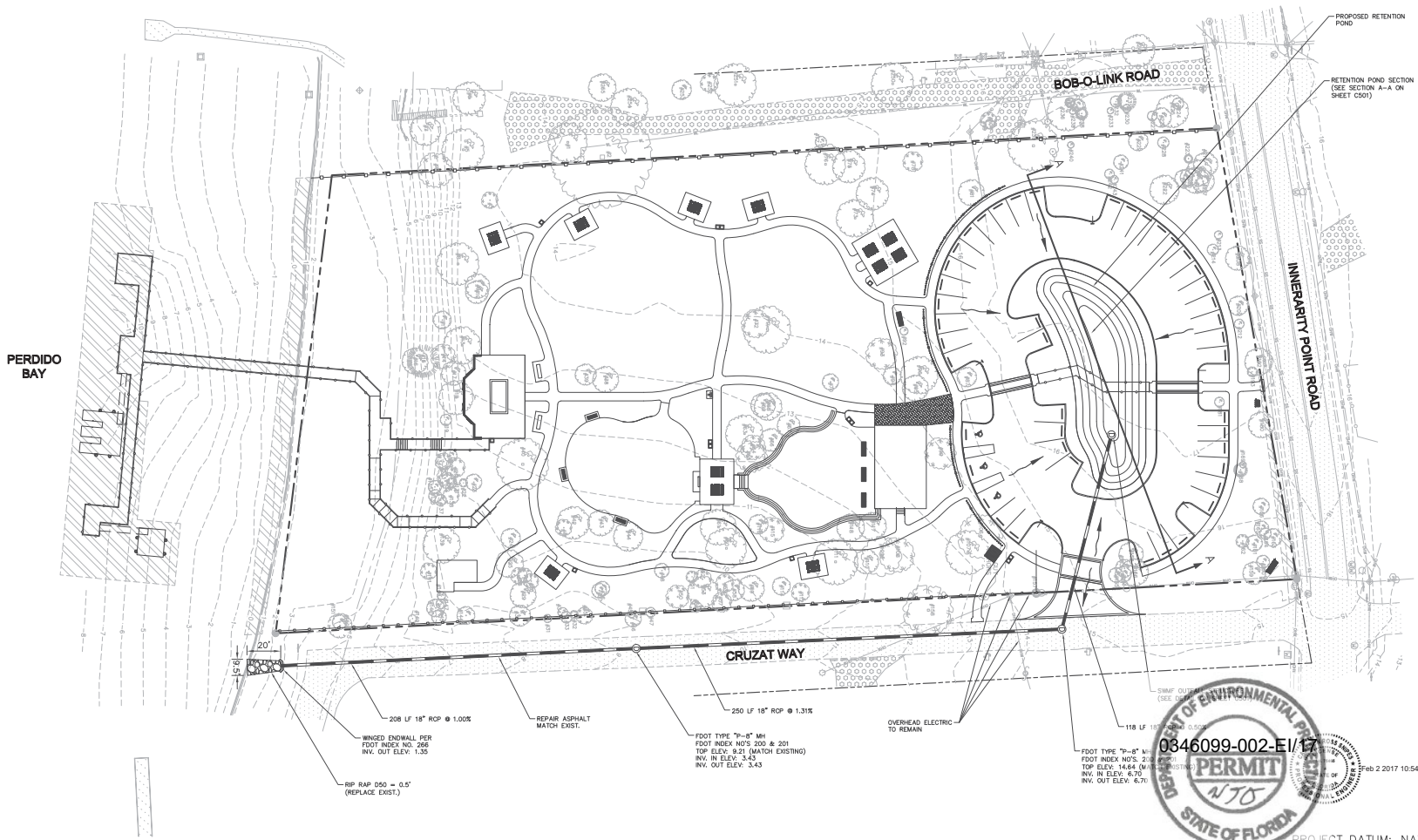
#	REVISION	DATE

DATE: DECEMBER 2016
 PROJECT NUMBER: 02-16009
 SHEET TITLE: CIVIL SITE PLAN

SHEET NUMBER
C301

PROJECT DATUM: NAVD '88

C:\TEL_C\0846099-002-001\InnerarityPark\Drawings\DWG\DRNAGE AND STORMWATER FACILITY PLAN.dwg 17/16/2017 9:27:21 AM CHAMBERLAIN, CONNOR



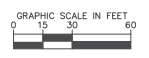
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0846099-002-EI/17

 PROJECT DATUM: NAVD '88



PREPARED FOR:
CONSTRUCTION DOCUMENTS
INNERARITY POINT PARK
 ESCAMBIA COUNTY, FLORIDA

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 DATE: _____
 DESIGNED BY: CRS
 DRAWN BY: HEG
 PROJECT: CRS
 APPROX. MGR: CRS
 CHECKED BY: KVL/CRS

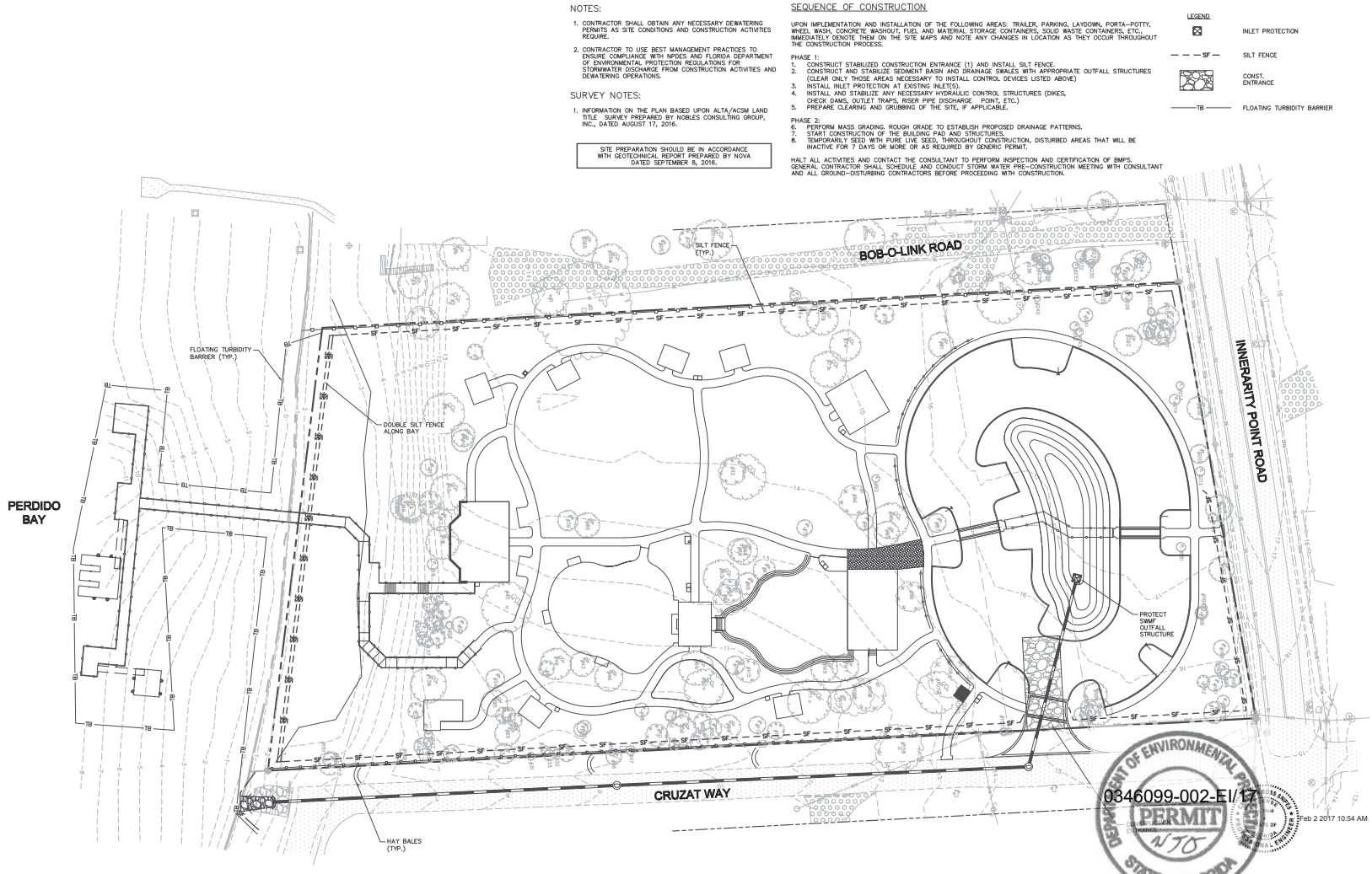
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#	REVISION	DATE BY

DATE: DECEMBER 2016
 PROJECT NUMBER: 02-16009
 SHEET TITLE: DRAINAGE AND STORMWATER FACILITY PLAN

SHEET NUMBER: **C500**

C:\EPL_C\040402104\InnerarityPark\Drawings\ICDDP\Drawings\0200 STORMWATER POLLUTION PREVENTION PLAN (SWPPP).dwg 12/16/2016 9:28:00 AM CHAMBERS, CONNOR



NOTES:

1. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE.
2. CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NRECS AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.

SURVEY NOTES:

1. INFORMATION ON THE PLAN BASED UPON ALTA/ACSM LAND TITLE SURVEY PREPARED BY NOBLES CONSULTING GROUP, INC., DATED AUGUST 17, 2016.

SITE PREPARATION SHOULD BE IN ACCORDANCE WITH GEOTECHNICAL REPORT PREPARED BY NOVA DATED SEPTEMBER 8, 2016.

SEQUENCE OF CONSTRUCTION

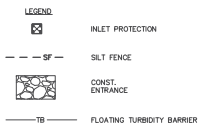
UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE MASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

PHASE 1:

1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1) AND INSTALL SILT FENCE.
2. CONSTRUCT AND STABILIZE SEDIMENT BASIN AND DRAINAGE SWALES WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONTROL DEVICES LISTED ABOVE)
3. INSTALL INLET PROTECTION AT EXISTING INLETS.
4. INSTALL AND STABILIZE ANY NECESSARY HYDRAULIC CONTROL STRUCTURES (DIKES, CHECK DAMS, OUTLET TRAPS, RISER PIPE DISCHARGE POINT, ETC.)
5. PREPARE CLEANING AND GRUBBING OF THE SITE, IF APPLICABLE.

PHASE 2:

6. PERFORM MASS GRADING ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 7. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
 8. TEMPORARILY SEED WITH PURE LIVE SEEDS THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY GENERIC PERMIT.
- HALT ALL ACTIVITIES AND CONTACT THE CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH CONSULTANT AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.



CONSTRUCTION DOCUMENTS
INNERARITY POINT PARK
 ESCAMBIA COUNTY, FLORIDA

NOT FOR CONSTRUCTION

DESIGNED BY: CRS
 DRAWN BY: KEG
 PROJ.MGR: CRS
 SPPROJ.MGR: CRS
 CHECKED BY: KVL/CRS

#	REVISION	DATE BY

DATE: DECEMBER 2016
 PROJECT NUMBER: 02-16009
 SHEET TITLE: STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

SHEET NUMBER
C600

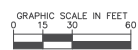
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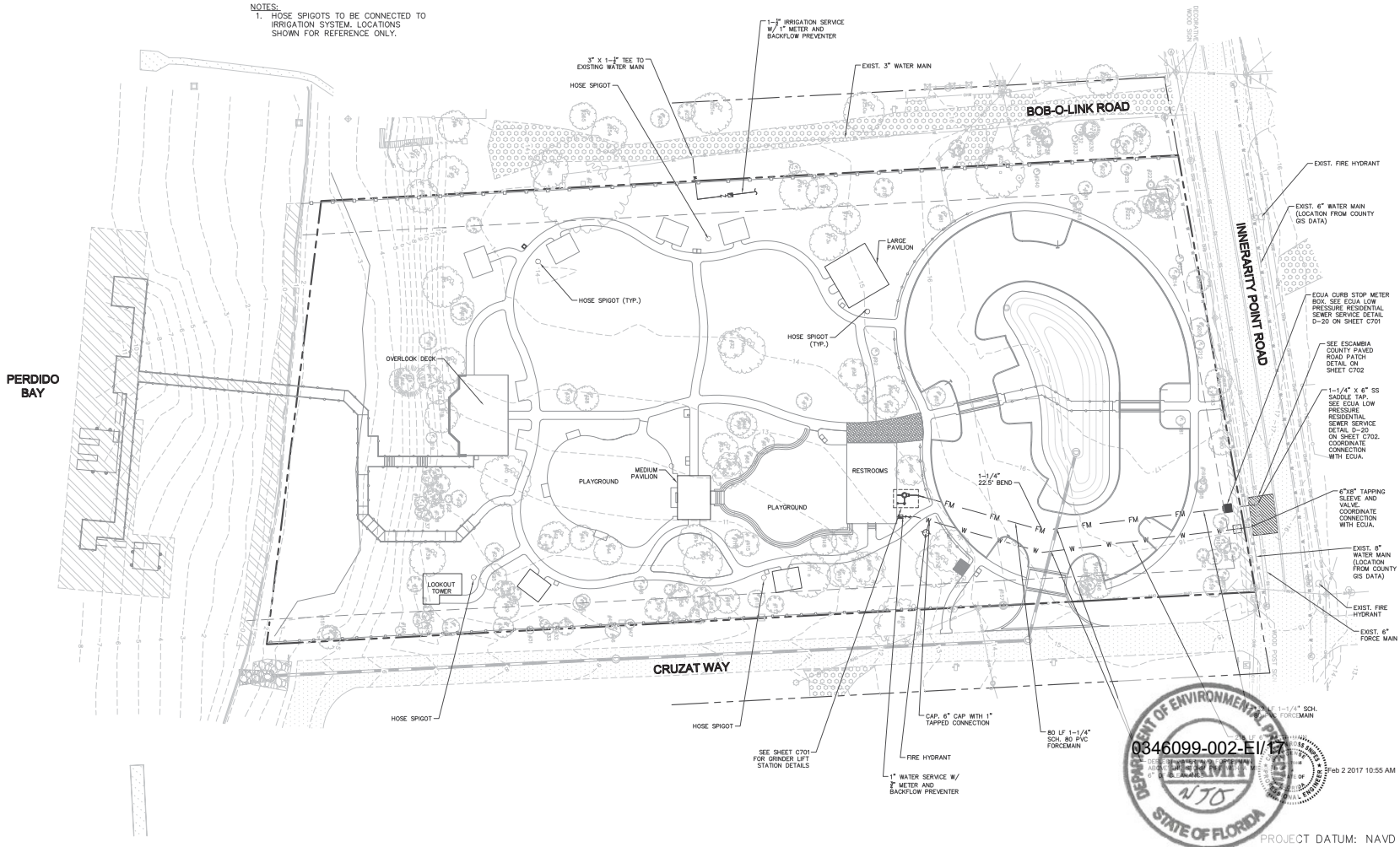
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 PLAN IS SUBJECT TO CHANGE.

NOTES:
 1. HOSE SPIGOTS TO BE CONNECTED TO IRRIGATION SYSTEM. LOCATIONS SHOWN FOR REFERENCE ONLY.



CONSTRUCTION DOCUMENTS
INNERARITY POINT PARK
 ESCAMBIA COUNTY, FLORIDA

NOT FOR CONSTRUCTION

DESIGNED BY: CRS
 DRAWN BY: HEG
 PROJECT MGR: CRS
 APPROV. MGR: CRS
 CHECKED BY: KVLICRS

#	REVISION	DATE BY

DATE: DECEMBER 2016
 PROJECT NUMBER: 02-16009
 SHEET TITLE: UTILITY PLAN

SHEET NUMBER: **C700**

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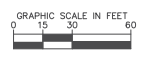
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STORMWATER MANAGEMENT SYSTEM

MAINTENANCE MANUAL

FOR

INNERARITY POINT PARK

ESCAMBIA COUNTY, FLORIDA

I. POND MAINTENANCE

A. Removal of Aquatic Weeds

Whenever practical, undesirable weeds and floating aquatics shall be removed manually from the pond areas. This will allow for the effective control of aquatic weed invasion and minimal disturbance to both planted and desirable naturally recruited species within the ponds.

B. Chemical Weed Control

Application of chemicals shall only be used as a last resort in controlling noxious and aquatic weeds. Any herbicides or pesticides shall be applied in accordance with the manufacturer's recommendations and as approved by a State licensed pest control advisor. Limited applications of weed control chemicals shall be performed in such a manner as to not adversely affect the desirable plant species within the ponds.

C. Algae Control

To minimize the potential for pond algae blooms, fertilization practices should follow Florida Cooperative Extension Service recommendations and be kept to the minimum necessary to maintain adequate plant growth and development.

Copper sulfate, commonly used to control algae, shall include chelating agents. Chelated copper sulfate results in lower copper residue, requires lower application concentrations, and furnishes longer periods of control than copper sulfate.

II. SWALE MAINTENANCE

A. Maintenance of Grassed Areas

Once sodded/seeded and established, all grassed/maintained areas shall be mowed regularly and maintained free from bare earth conditions to prevent the potential for erosion. This item does not apply to areas of the project proposed to be left in native condition (outside of traditional landscaped areas). Grass clippings shall be collected and disposed of properly. Clippings shall not be disposed of in surface waters or wetland areas.

III. OPERATION INSPECTIONS

Operation inspections shall be conducted annually to assure that the stormwater management system functions as designed. Spot inspections following rainstorm events of ½" or greater may also be periodically warranted.

The following features of the stormwater management system should be inspected during each visitation. An inspection report form is provided in the back of this manual.

A. Vegetation

The need for vegetation removal or spraying should be determined. Grassed areas such as swales and pond banks should also be inspected to determine the need for mowing, reseeding or fertilization.

B. Discharge Structures

System discharge control structures should be inspected to ensure that no obstructions to flow (i.e., debris) exist that would reduce the release rate of the system. The structural condition of the control boxes or weirs should also be inspected for evidence of seepage, settlement, or concrete deterioration. Sediment deposits located in the vicinity of control structures as well as scouring conditions at discharge locations should be routinely noted.

C. Swale Detention Areas

Swale detention areas designed to temporarily detain stormwater during a rainfall event should be inspected to assure that they are kept mowed and free from stagnant water conditions.

D. Conveyance System

The conveyance system, which includes storm sewer piping, inlets, and junction boxes, should be inspected for structural and functional integrity. Evidence of seepage, restricted flow, or turbid discharges should be noted. Structures with sediment sumps should be cleaned annually with proper disposal of collected sediments.

E. Pond Areas

Pond and lake inspections should include a general review of conditions with respect to algae and plant growth. Bank slopes should be inspected for signs of erosion, settlement, and slope failure. Where applicable, pond dikes and levees should be inspected for indications of settlement or breaks. Excess sediment deposits should be noted and all floating debris should be removed.

F. Fill Areas

Areas which have been filled and stabilized adjacent to any portion of the stormwater management system should be inspected for evidence of settlement, erosion or slope failure.

CHECK LIST

**OPERATION AND MAINTENANCE INSPECTION RECORD
STORMWATER MANAGEMENT SYSTEM**

Name of Project: _____

Project Location: _____

Type of Inspection: _____

Date of Inspection: _____

Anticipated Operation: Satisfactory _____

 Unsatisfactory _____

ITEM	CONDITION		RECOMMENDED MAINTENANCE (If Required)
	ACCEPTABLE	UNACCEPTABLE	
1. Aquatic Weeds			
2. Discharge Structures			
3. Grassed Areas			
4. Conveyance System			
5. Pond Areas			
6. Fill Areas			

REMARKS:

Signature of Inspector

Name of Organization Being Represented